



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711 (608-270-4200)

SMARTCODE BUILDING/SITE PLAN APPLICATION (ARTICLE 5)

1. **Location of Property:** Lot 18-21, No Oaks Ridge
Street Address: _____
Legal Description - (Metes & Bounds, or Lot No. And Plat): Lot 18-21
Third Addition to Nine Springs

2. **Description of Project:** 4 Unit Apartment Building with private garage

3. **Existing Transect Zone:** T4 **Article 3 or Article 4 approval date:** _____

4. **Size of Site:** 7743 sf **Site Density (if applicable):** 1936 sf/DU

5. **Building/Site Plan applications shall provide plans and information showing the following:**

- | | |
|---|---|
| <input type="checkbox"/> 1. Building Disposition | <input type="checkbox"/> 12. Landscape Standards |
| <input type="checkbox"/> 2. Building Configuration | <input type="checkbox"/> 13. Signage Standards |
| <input type="checkbox"/> 3. Building Use | <input type="checkbox"/> 14. Special Requirements, if any |
| <input type="checkbox"/> 4. Parking calculation & location | <input type="checkbox"/> 15. Architectural Standards |
| <input type="checkbox"/> 5. Number of dwelling units | <input type="checkbox"/> 16. Fencing Standards |
| <input type="checkbox"/> 6. Base Residential Density | <input type="checkbox"/> 17. Lighting Standards |
| <input type="checkbox"/> 7. Building square footage | <input type="checkbox"/> 18. Statistics, maps and other documentation |
| <input type="checkbox"/> 8. All requests for Administrative Waivers, if any | showing how the Article 5 application, in |
| <input type="checkbox"/> 9. All requests for Administrative Approvals, if any | combination with the past approved Article 5 |
| <input type="checkbox"/> 10. All known requests for Conditional Use | plans, will meet the approved Community |
| Permits, if any | Regulating Plan, and the standards of this |
| <input type="checkbox"/> 11. Civic Building design(s) | Chapter. |

***Also submit all mapping in either CADD or GIS files

Current Owner(s) of Property: Avante Properties

Address: 120 E. Lakeside, Madison WI **Phone No.:** 608.294.4085

Contact Person: Karyl Lynn Bruckner **E-mail:** karyllynn@avanteproperties.com

Address: _____ **Phone No.:** _____

Respectfully Submitted By: Kari B. **Date:** 7-25-13
Owner's or Authorized Agent's Signature

*(If multiple owners, application shall include statement of consent by all property owners)

PLEASE NOTE – Applicants shall be responsible for legal or outside consultant costs incurred by the City. It is the responsibility of the owner/applicant to insure compliance with all local and state requirements.

*Application shall be accompanied by one (1) PDF document of complete submittal, one (1) full-size set of plans, two (2) reduced sets of plans (11" x 17"), and the required CADD or GIS files for mapping.

APPROVED
10-17-13

FOR CITY USE ONLY

Date Received: 7/26/13 **Permit Request No.:** _____

Approval is based on plan set dated 8/28/2013, accompanying materials and responses to staff comments, along with approved Administrative Waiver of Section 5.6.2e.

SITE PLAN REVIEW CHECKLIST:

YES

NO

_____	_____	Signed and completed Building / Site Plan – Article 5 Application
_____	_____	Proposals / design compliant with Ch. 23 SmartCode District
_____	_____	Vicinity map (no larger than 11 x 17)
_____	_____	2 (two) reduced size (11 x 17) plan sets
_____	_____	1 (one) full set of bounded drawings, include landscape plans
_____	_____	1 (one) electronic copy (.tif or .pdf) of the plan set
_____	_____	CADD or GIS files for all mapping
		<u>Plans to include existing and proposed information on the following:</u>
_____	_____	Location of structures, improvements and landscaping
_____	_____	North arrow and scale bar
_____	_____	Site boundaries
_____	_____	Setback distance from property lines
_____	_____	Rights-of-way, property lines and easements
_____	_____	Location & dimensions of driveways, streets and sidewalks
_____	_____	On-site parking and circulation
_____	_____	Location of loading spaces, if applicable
_____	_____	Location of trash receptacle enclosure
_____	_____	Location of all outdoor electrical, plumbing and mechanical equipment
_____	_____	Landscaping Plan for site
_____	_____	Signage Plan for site (type & fixtures)
_____	_____	Elevations for each side of the building detailing the materials & colors
_____	_____	Fencing Plan (if installing fence)
_____	_____	Lighting Plan (in footcandles) & fixtures cut-sheets
_____	_____	Site plan data table containing: transect zone, site size in square feet or acres, lot coverage by building in square feet and percentage, residential density in units per acre (if applicable), square feet of impervious surface and parking and landscaping calculations.

ARTICLE 5 SUPPLEMENTAL FORM:

Building Disposition:

Lot(s) 18-21 Plat THIRD ADDITION TO NINE SPRINGS

Transect Zone: T4

Lot Width 64' Lot Coverage Site=81%, Lot 18=75%, Lot 19=87%, Lot 20=87%, Lot 21=69%

Type of Building: ☐ Edgeyard ☒ Sideyard ☒ Rearyard ☐ Courtyard ☐ Specialized

Principal Building Setbacks: Front (principal) 11' Front (secondary) N/A Side 3' Rear 21'

Primary Setback: 9.5' feet Frontage buildout (if applicable): 95 %

Outbuilding: ☐ Yes ☒ No Site=95%, Lot 18=91%, Lot 19=100%, Lot 20=100%, Lot 21=91%

Outbuilding Setbacks: Front Side Rear

Building Configuration:

Type of Private Frontage: ☐ Common Yard ☐ Porch & Fence ☐ Light court ☐ Forecourt

☒ Stoop ☐ Shopfront ☐ Gallery ☐ Arcade

☐ Parking Lot ☐ Common Entry & Planter

% of clear glass of 1st story Façade: 13.4 %

Overall building height: 35'0" feet 2 stories

1st story: 10'8" feet

2nd story: 9'6" feet

[X] story: -- feet

Building Use:

Use of principal building: Multi-Family Residential

of residential dwelling units in principal building (if applicable): 4 dwelling units

Use of accessory building: n/a

*If multiple uses in building, please provide square footage of each type of use.

Parking & Density:

of parking stalls provided within the Lot: 4

of parking stalls along parking lane corresponding to the Lot Frontage: 5

of parking stalls by lease or purchase from a Civic Parking Reserve within the Community Unit: 0

If looking to use Effective Parking standards, applicant shall provide completed Parking Occupancy Rate Table (Table 20)

Current density for transect zone within the block: 6.9 D.U./AC (per 5.9.2f)

Parking Location:

Drive width: n/a

Material of parking / drive areas: n/a

Landscape:

% of landscape area of 1st Layer of Principal Frontage: 71 % (minimum 30%)

% of landscape area of 1st Layer of Secondary Frontage: n/a % (minimum 30%)

of trees planted within the 1st Layer: 2 understory + 19 shrubs

Requirements: T3 – 1 tree shall be planted within the 1st Layer for every 800 sq. ft of landscape area

T4 – minimum of 1 Understory Tree or 6 shrubs planted within 1st Layer for every 500 sq. ft. of 1st Layer landscape area.

T5 – Trees not required in 1st Layer.

Signage:

A or B grid street: _____

Type of sign: _____
(* note: A sign permit is required for all signs)

Architectural: For buildings other than single-family and two-family Edgeyard & Sideyard Residential:

Type of building materials: composite siding, metal panel, brick veneer, powder coated aluminum railings

*Vinyl siding is not permitted.

Fence: ☐ Yes ☒ No

If yes, fence at the 1st Layer shall be painted or stained.

Balcony or porch: ☒ Yes ☐ No

Fencing:

Height of fence (if applicable): _____ feet

Lighting:

Are all parking lot and exterior building lighting on private lots dark sky approved or full cut-off fixtures? ☒ Yes ☐ No

Average lighting levels, in footcandles, at the building frontage line: 0



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711 (608-270-4200)

SMARTCODE BUILDING/SITE PLAN APPLICATION (ARTICLE 5)

1. **Location of Property:** Lot 49-53, No Oaks Ridge
Street Address: _____
Legal Description - (Metes & Bounds, or Lot No. And Plat): Lot 49-53
Third Addition to Nine Springs

2. **Description of Project:** 5 Unit Apartment Building with private garage

3. **Existing Transect Zone:** T4 **Article 3 or Article 4 approval date:** _____

4. **Size of Site:** 7723 sf **Site Density (if applicable):** 1544 sf/DU

5. **Building/Site Plan applications shall provide plans and information showing the following:**

- | | |
|---|---|
| <input type="checkbox"/> 1. Building Disposition | <input type="checkbox"/> 12. Landscape Standards |
| <input type="checkbox"/> 2. Building Configuration | <input type="checkbox"/> 13. Signage Standards |
| <input type="checkbox"/> 3. Building Use | <input type="checkbox"/> 14. Special Requirements, if any |
| <input type="checkbox"/> 4. Parking calculation & location | <input type="checkbox"/> 15. Architectural Standards |
| <input type="checkbox"/> 5. Number of dwelling units | <input type="checkbox"/> 16. Fencing Standards |
| <input type="checkbox"/> 6. Base Residential Density | <input type="checkbox"/> 17. Lighting Standards |
| <input type="checkbox"/> 7. Building square footage | <input type="checkbox"/> 18. Statistics, maps and other documentation |
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| <input type="checkbox"/> 9. All requests for Administrative Approvals, if any | combination with the past approved Article 5 |
| <input type="checkbox"/> 10. All known requests for Conditional Use | plans, will meet the approved Community |
| Permits, if any | Regulating Plan, and the standards of this |
| <input type="checkbox"/> 11. Civic Building design(s) | Chapter. |

***Also submit all mapping in either CADD or GIS files

Current Owner(s) of Property: Avante Properties

Address: 120 E. Lakeside, Madison WI **Phone No.:** 608.294.4085

Contact Person: Karyl Lynn Bruckner **E-mail:** karyllynn@avanteproperties.com

Address: _____ **Phone No.:** _____

Respectfully Submitted By: Kari Bruckner **Date:** 7-25-13
Owner's or Authorized Agent's Signature

*(If multiple owners, application shall include statement of consent by all property owners)

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*Application shall be accompanied by one (1) PDF document of complete submittal, one (1) full-size set of plans, two (2) reduced sets of plans (11" x 17"), and the required CADD or GIS files for mapping.

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Date Received: 7/26/13 **Permit Request No.:** _____

APPROVED

10-17-13

Approval is based on plan set dated 8/28/2013, accompanying materials + responses to staff comments, along with approved Administrative Waiver of Section 5.6.2.e. Streetscreen on Lot 53 shall fully conceal transformer to the east from the Frontage View.

SITE PLAN REVIEW CHECKLIST:

YES

NO

_____	_____	Signed and completed Building / Site Plan – Article 5 Application
_____	_____	Proposals / design compliant with Ch. 23 SmartCode District
_____	_____	Vicinity map (no larger than 11 x 17)
_____	_____	2 (two) reduced size (11 x 17) plan sets
_____	_____	1 (one) full set of bounded drawings, include landscape plans
_____	_____	1 (one) electronic copy (.tif or .pdf) of the plan set
_____	_____	CADD or GIS files for all mapping
		<u>Plans to include existing and proposed information on the following:</u>
_____	_____	Location of structures, improvements and landscaping
_____	_____	North arrow and scale bar
_____	_____	Site boundaries
_____	_____	Setback distance from property lines
_____	_____	Rights-of-way, property lines and easements
_____	_____	Location & dimensions of driveways, streets and sidewalks
_____	_____	On-site parking and circulation
_____	_____	Location of loading spaces, if applicable
_____	_____	Location of trash receptacle enclosure
_____	_____	Location of all outdoor electrical, plumbing and mechanical equipment
_____	_____	Landscaping Plan for site
_____	_____	Signage Plan for site (type & fixtures)
_____	_____	Elevations for each side of the building detailing the materials & colors
_____	_____	Fencing Plan (if installing fence)
_____	_____	Lighting Plan (in footcandles) & fixtures cut-sheets
_____	_____	Site plan data table containing: transect zone, site size in square feet or acres, lot coverage by building in square feet and percentage, residential density in units per acre (if applicable), square feet of impervious surface and parking and landscaping calculations.

ARTICLE 5 SUPPLEMENTAL FORM:

Building Disposition:

Lot(s) 49-53 Plat THIRD ADDITION TO NINE SPRINGS

Transect Zone: T4

Lot Width 59.98' Lot Coverage 66% Site, Lot 49=53%, Lot 50=84%, Lot 51=79%, Lot 52=79%, Lot 53=55

Type of Building: ☐ Edgeyard ☒ Sideyard ☒ Rearyard ☐ Courtyard ☐ Specialized

Principal Building Setbacks: Front (principal) 18' Front (secondary) N/A Side 12'-13' Rear 10'

Primary Setback: 18' feet Frontage buildout (if applicable): 80 %
80% Site, Lot 49=65%, Lot 50=100%, Lot 51=100%, Lot 52=100%, Lot 53=63%

Outbuilding: ☐ Yes ☒ No

Outbuilding Setbacks: Front Side Rear

Building Configuration:

Type of Private Frontage: ☐ Common Yard ☐ Porch & Fence ☐ Light court ☐ Forecourt

☒ Stoop ☐ Shopfront ☐ Gallery ☐ Arcade

☐ Parking Lot ☐ Common Entry & Planter

% of clear glass of 1st story Façade: 18.3 %

Overall building height: 35'0" feet 2 stories

1st story: 10'8" feet

2nd story: 9'6" feet

[X] story: -- feet

Building Use:

Use of principal building: Multi-Family Residential

of residential dwelling units in principal building (if applicable): 5 dwelling units

Use of accessory building: n/a

*If multiple uses in building, please provide square footage of each type of use.

Parking & Density:

of parking stalls provided within the Lot: 10

of parking stalls along parking lane corresponding to the Lot Frontage: 5

of parking stalls by lease or purchase from a Civic Parking Reserve within the Community Unit: 0

If looking to use Effective Parking standards, applicant shall provide completed Parking Occupancy Rate Table (Table 20)

T4=7.0 D.U./AC

Current density for transect zone within the block: T5=62.4 D.U./AC (per 5.9.2f)

Parking Location:

Drive width: 24'

Material of parking / drive areas: asphalt

Landscape:

% of landscape area of 1st Layer of Principal Frontage: 76 % (minimum 30%)

% of landscape area of 1st Layer of Secondary Frontage: n/a % (minimum 30%)

of trees planted within the 1st Layer: 2 understory + 20 shrubs

Requirements: T3 – 1 tree shall be planted within the 1st Layer for every 800 sq. ft of landscape area

T4 – minimum of 1 Understory Tree or 6 shrubs planted within 1st Layer for every 500 sq. ft. of 1st Layer landscape area.

T5 – Trees not required in 1st Layer.

Signage:

A or B grid street: _____

Type of sign: _____

(* note: A sign permit is required for all signs)

Architectural: For buildings other than single-family and two-family Edgeyard & Sideyard Residential:

Type of building materials: composite siding, metal panel, brick veneer, powder coated aluminum railings

*Vinyl siding is not permitted.

Fence: ☐ Yes ☒ No

If yes, fence at the 1st Layer shall be painted or stained.

Balcony or porch: ☒ Yes ☐ No

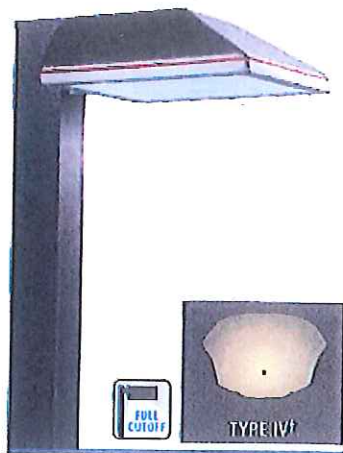
Fencing:

Height of fence (if applicable): _____ feet

Lighting:

Are all parking lot and exterior building lighting on private lots dark sky approved or full cut-off fixtures? ☒ Yes ☐ No

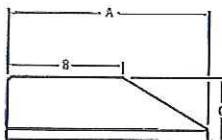
Average lighting levels, in footcandles, at the building frontage line: 0



† Actual IES Type III

STANDARD IN BLACK
SHOWN WITH OPTIONAL ACCENT STRIPE

Minimum 150°C Supply Connections
Required for Wet Locations
120V and 277V are suitable for dry



"A"	"B"	"C"
16" Square (406 mm)	9.5" (241 mm)	5.1" (129 mm)
22" Square (559 mm)	13.4" (340 mm)	6.5" (165 mm)



Rating applies as
a downlight only



for Wet
Locations

WAC SERIES by RUUD LIGHTING DIRECT

WEDGE FORWARD THROW AREA LIGHT

Available in 16-inch or 22-inch square, the distinctive architectural styling of WPR Series fixtures offers an estimated 50% lower EPA values than typical shoebox housings. Fixtures feature a clear, tempered glass lens mounted securely in the recessed die-cast door frame. WAC Series fixtures use a forward throw area cutoff reflector with a main beam of 60+ degrees from vertical providing great lateral distribution and uniformity.

APPLICATIONS: Parking areas

LAMP INCLUDED

LAMP WATTAGE	HOUSING SIZE	CATALOG NUMBER
100W PSMH	16"	WAC*410-M
150W PSMH	16"	WAC*615-M
250W PSMH	22"	WAC*6925-M
320W PSMH Φ	22"	WAC*6932-M
400W PSMH Φ	22"	WAC*6940-M
100W HPS	16"	WAC*510-M
150W HPS	16"	WAC*515-M
250W HPS	22"	WAC*592-M
400W HPS	22"	WAC*594-M

Φ Reduced envelope lamp, E028 for 320W & 400W PSMH.

MOUNTING CODES

Insert Code at * in Catalog Number



1 = 1-1/2" Close Pole Mount

2 = 6" Extended Pole Mount

8 = No Mounting Hardware
(factory-drilled with 2-foot cord)

W = Wall Mount

NOTE: When using multiple 22" sq. housings at a 90° configuration, a special 12" arm is required, see page 91.

SEE PAGE 88 FOR MORE INFORMATION
ABOUT THESE MOUNTINGS

MOUNTING ALTERNATIVES START ON PAGE 90

FACTORY-INSTALLED OPTIONS

DESCRIPTION	CHARGE SUFFIX	ADDITIONAL SUFFIX
277V Reactor Ballast (150W-400W PSMH only)	27	
480V Ballast (100W PSMH only)	S	
(150W-400W PSMH, 250W-400W HPS only)	S	
(100W-150W HPS only)	S	
Canada Tri-volt Ballast (120/277/347V) (150W-400W PSMH, 250W-400W HPS only)	T	
(100W & 150W HPS and 100W PSMH only)	T	
Single Fuse (277V Reactor; 120V, 277V, or 347V)	27, 1, 2 or 6	F
Dual Fuse (208V, 240V, or 480V) (n/a Canada)	3, 4 or 5	F
Quartz Standby (n/a 277V reactor) (delay-relay type) (includes 100W Q lamp)		Q
Button Photocell (n/a on 480V) (277V Reactor, 120V, 277V, 208V, or 240V) (Canada 347V)	27, 1, 2, 3, or 4 6	P P
External Photocell (480V only)	5	P

Accent Stripe (note at end of catalog number: prefix: G=Grey, R=Red (WAC1615R-M))

FIELD-INSTALLED ACCESSORIES

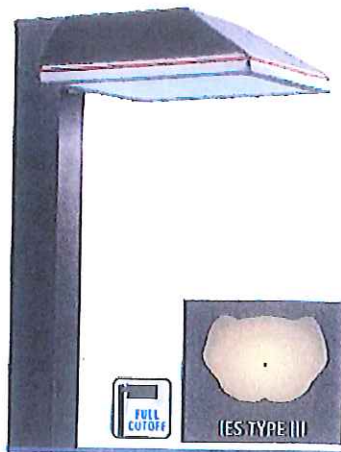
DESCRIPTION	CATALOG NUMBER
Wire Guard 16" Housing 22" Housing	FWG-16 FWG-22
Backlight Shield* 16" Housing 22" Housing	SBL-16 SBL-22

* standard on Wall Mount, mounting code "W"

SEE PAGE 87 FOR MORE INFORMATION ABOUT THESE ACCESSORIES

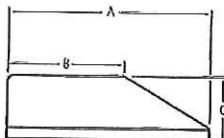
Spec sheets and photometric files are available at www.ruudlightingdirect.com

www.ruudlightingdirect.com || (800) 236-7000 || FLOOD & AREA 81



**STANDARD IN BLACK
SHOWN WITH OPTIONAL ACCENT STRIPE**

Minimum 10' to supply conductors
Required for all wall mount
Non-combustible surface only



"A"	"B"	"C"
16" Square (406 mm)	9.5" (241 mm)	5.1" (129 mm)
22" Square (559 mm)	13.4" (340 mm)	6.5" (165 mm)

WPR SERIES by RUUD LIGHTING DIRECT

WEDGE WIDE THROW AREA LIGHT

Available in 16-inch or 22-inch square, the distinctive architectural styling of WPR Series fixtures offers an estimated 50% lower EPA values than typical shoebox housings. Fixtures feature a clear, tempered glass lens mounted securely in the recessed die-cast door frame. WPR Series fixtures use a parking/roadway reflector with Type III asymmetric distribution.

APPLICATIONS: Roadway, parking areas or for building-mounted security lighting

LAMP INCLUDED

LAMP WATTAGE	HOUSING SIZE	CATALOG NUMBER
100W PSMH	16"	WPR-410-M
150W PSMH	16"	WPR-615-M
250W PSMH	22"	WPR-6925-M
320W PSMH Φ	22"	WPR-6932-M
400W PSMH Φ	22"	WPR-6940-M
100W HPS	16"	WPR-510-M
150W HPS	16"	WPR-515-M
250W HPS	22"	WPR-592-M
400W HPS	22"	WPR-594-M

Φ Reduced envelope lamp. E028 for 320W & 400W PSMH.

MOUNTING (CODES)

Insert Code at * in Catalog Number



1 = 1-1/2" Close Pole Mount

2 = 6" Extended Pole Mount

8 = No Mounting Hardware
(factory-filled with 2-foot cord)

W = Wall Mount

NOTE When using multiple 22" sq. housings at a 90° configuration, a special 12" arm is required, see page 91.

**SEE PAGE 85 FOR MORE INFORMATION
ABOUT THESE MOUNTINGS**

MOUNTING ALTERNATIVES START ON PAGE 90



Rating applies as
a downlight only



for Wet
Locations

FACTORY-INSTALLED OPTIONS

DESCRIPTION	CHARGE SUFFIX (A)	ADAPTER SUFFIX
277V Reactor Ballast (150W-400W PSMH only)	27	
480V Ballast (100W PSMH only)	5	
(150W-400W PSMH, 250W-400W HPS only)	5	
(100W-150W HPS only)	5	
Canada Tri-volt Ballast (120/277/347V) (150W-400W PSMH, 250W-400W HPS only)	T	
(100W & 150W HPS and 100W PSMH only)	T	
Single Fuse (277V Reactor, 120V, 277V, or 347V)	27, 1, 2 or 6	F
Dual Fuse (208V, 240V, or 480V) (n/a Canada)	3, 4 or 5	F
Quartz Standby (n/a 277V reactor) (delay-relay type) (includes 100W Q lamp)		Q
Button Photocell (n/a on 480V) (277V Reactor, 120V, 277V, 208V, or 240V)	27, 1, 2, 3, or 4	P
(Canada 347V)	6	P
External Photocell (480V only)	5	P

Accent Stripe (note at end of catalog number prefix: G=Grey, R=Red (WPR1615R-M))

FIELD-INSTALLED ACCESSORIES

DESCRIPTION	CATALOG NUMBER
Wire Guard 16" Housing 22" Housing	FWG-16 FWG-22
Backlight Shield 16" Housing 22" Housing	SBL-16 SBL-22

SEE PAGE 88 FOR MORE INFORMATION ABOUT THESE ACCESSORIES

Spec sheets and photometric files are available at www.ruudlightingdirect.com

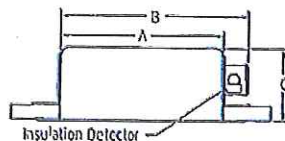
www.ruudlightingdirect.com || (800) 236-7000 || FLOOD & AREA 7/5

RC SERIES by **RUUD LIGHTING** **DIRECT**

RECESSED CANOPY LIGHT

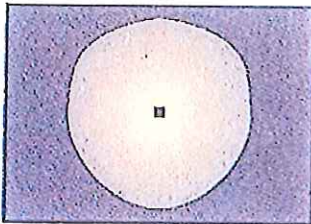


STANDARD IN WHITE FINISH



A	B	C
12" Square (305 mm)	13.88" (353 mm)	5.0" (127 mm)
16" Square (406 mm)	17.88" (454 mm)	6.5" (165 mm)

OPTICAL PATTERN



RC Series fixtures are 12- and 16-inches square and feature a seamless, aluminum die-cast housing. This highly efficient fixture features a precision specular reflector that provides cutoff distribution for maximum light levels. A crystal #73, flat tempered glass lens is standard.

APPLICATIONS: Canopy illumination, soffit lighting

LAMP INCLUDED

LAMP WATTAGE	HOUSING SIZE	CATALOG NUMBER
70W PSMH	12"	MRC0407-1
100W PSMH	12"	MRC0410-1
150W PSMH	12"	MRC0615-1
150W PSMH	16"	RC0615-1
70W HPS	12"	MRC0507-1
100W HPS	12"	MRC0510-1
150W HPS	12"	MRC0515-1
150W HPS	16"	RC0515-1
26/32/42W CFL ^A	12"	MRC0242-U

^A Specify lamp wattage for included lamp. Consult factory for discrete wattage labeling to meet state and/or local regulations where applicable.



FACTORY-INSTALLED OPTIONS

DESCRIPTION	RANGE SUFFIX	ADD AFTER SUFFIX
277V Ballast (standard on CFL) (PSMH & 150W HPS in 16" housing) (70W-150W HPS in 12" housing)	2 2	
208V Ballast (standard on CFL) (PSMH & 150W HPS in 16" housing) (70W-150W HPS in 12" housing)	3 3	
240V Ballast (standard on CFL) (PSMH & 150W HPS in 16" housing) (70W-150W HPS in 12" housing)	4 4	
Canada 347V Ballast (n/a CFL) (150W PSMH & 150W HPS in 16" housing) (70W & 100W PSMH) (70W-150W HPS in 12" housing)	6 6 6	
Single Fuse (120V, 277V, or 347V)	1, 2 or 6	f
Dual Fuse (208V or 240V) (n/a Canada)	3 or 4	f
Quartz Standby (delay-relay type) (includes 100W Q lamp)		Q
Glass Drop Prismatic Lens (12" housing only) (lens is 1-3/4" [44 mm] deep)		A

FIELD-INSTALLED ACCESSORIES

DESCRIPTION	CATALOG NUMBER
2 x 2 Lay-in Panel 12" Housing 16" Housing	LPF-12 LPF-16

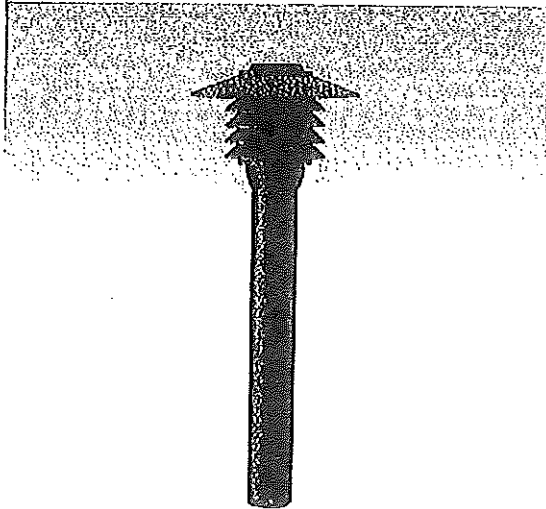
SEE PAGE 108 FOR MORE INFORMATION ABOUT THIS ACCESSORY

Spec sheets and photometric files are available at www.ruudlightingdirect.com

LUMINAIRE SPECIFICATION



PROJECT : _____ DATE : _____
 LOCATION : _____
 QUANTITY : _____ NOTE : _____



10052 Romeo bollard

IP65 ▲▲/EN 60598/CLASS I Ⓢ/V/CE /IK08

Product Type
 Bollard / Garden light / pillar light.

Product Information
 A distinctly style bollard symmetrical light distribution. Main application designed for lighting of entrances, footpaths, squares and garden.

Material Characteristics
 Extruded aluminium column. Die-cast aluminium housing with high corrosion resistance. Stainless steel screws. Durable silicone rubber gasket. Opal glass diffuser. Powder paint with high corrosion resistance with chemical chromated protection.

Physical Data
 Extruded aluminium height : 533 mm.
 Weight: 9.5 Kg.

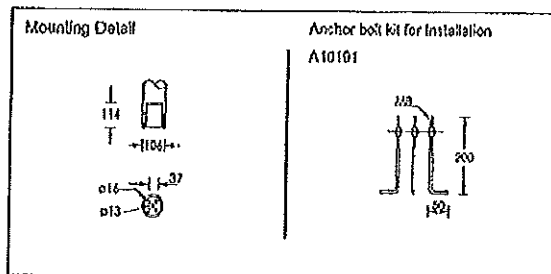
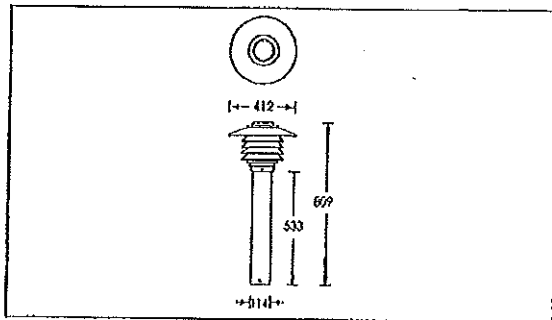
Colour

<input type="checkbox"/> Black - RAL 9011	<input type="checkbox"/> Dark Gray - RAL 7043
<input type="checkbox"/> White - RAL 9003	<input type="checkbox"/> Metallic Silver - RAL 9006
<input type="checkbox"/> Matt Silver - RAL 9006	<input type="checkbox"/> Custom - RAL _____

Reflector
 None.

Lamp
 TC-D 20w. ≡ G24d-3 1800 lm.

Note
 • Integral control gear.



Brenth Business contact address / Showroom
 2312 Ledpro Rd, Hongkong, Bangkok
 Bangkok 10145 Thailand
 Email: info@higmanlighting.com

Tel: +66 (0) 2 733 9145 (9 lines)
 Fax: +66 (0) 2 733 9151 (Administration)
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 +66 (0) 2 733 9159 (Domestic Sales)

Head office / Chachoengsao factory office
 1772 Moo 4, Muang Chachoengsao
 Chachoengsao 24150 Thailand

Tel: +66 (0) 33 581 676-81
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 Email: factory@higmanlighting.com
 Website: www.higmanlighting.com

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LUMINAIRE SPECIFICATION



ACCESSORIES

10052
Romeo bollard



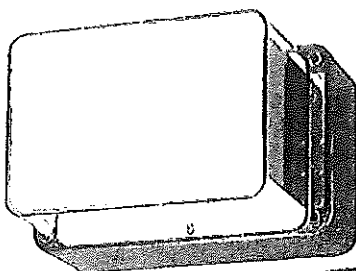
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Head office/China factory office
172 Mao 4, Meitong Burgomplex
Chaoxing 24120 Thailand

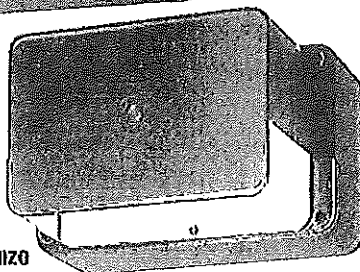
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Lamp Included!
E5 Series
(shown with Gold Shroud option)

E8 Series
(shown with Bronze Shroud option)



Up/Down Cutoff & Deep Shielded

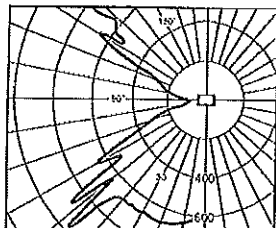
E5 Series Up/Down Cutoff

The optics provide controlled uplight and downlight with side cutoff. The E5 Series optics are also available for vertical mounting; add suffix 'R' to catalog number.

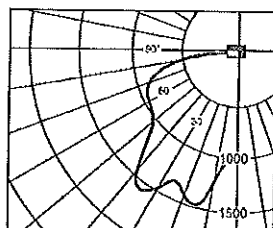
NOTE: 50-watt MH with suffix 'G' is supplied with a glass insert to allow operation in the wall-mounted position.

E8 Series Deep Shielded

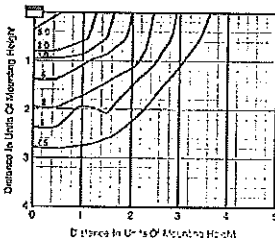
Front brightness shielding without sacrificing wide light distribution. The E8 works ideally over entrances.



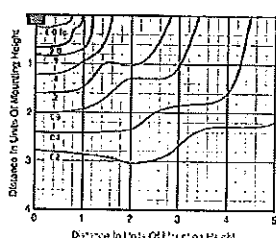
Candlepower Distribution Curve of 50W HPS E5 Up/Down Cutoff Light.



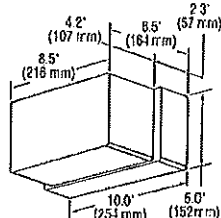
Candlepower Distribution Curve of 70W HPS E8 Deep Shielded Light.



Isofootcandle plot of one 50W HPS E5 Up/Down Cutoff Light at 10' (3.0 m) mounting height (plan view).



Isofootcandle plot of one 70W HPS E8 Deep Shielded Light at 15' (4.6 m) mounting height (plan view).



For 50, 70 and 100W HPS with quad-volt or tri-volt, and all MH fixtures, the housing depth is 3' (762 mm) and the overall fixture depth is 7' 2" (183 mm).

Order Information

Description	Wattage/ Lamp Type	Catalog Number	Mounting Position
Up/Down Cutoff	50W MH	E5405-MG	Wall
	35W HPS	E5503-1	Any
	50W HPS	E5505-1	Any
Deep Shielded	50W MH	E8405-M	Wall Downlight only
	70W MH	E8407-M	Wall Downlight only
	35W HPS	E8503-1	Any
	50W HPS	E8505-1	Any
	70W HPS	E8507-1	Wall Downlight only
	100W HPS	E8510-1	Wall Downlight only

NOTE: Suffix 'G' indicates glass insert is supplied.

Options: (Factory-Installed)	Change Suffix To	Add After Suffix
Description		
277V ballast (35-50W HPS only)	2	
347V ballast (50W HPS only)	6	
Quad-volt ballast (70-100W HPS only)	M	
Tri-volt ballast (50 & 70W MH only)	T	
Tri-volt ballast (70 & 100W HPS only)	T	
Photocell (120V, 277V, 208V, 240V or 347V)	1, 2, 3, 4 or 6	P
Bronze Color Shroud (not available on 100W HPS)		BS
Gold Color Shroud (not available on 100W HPS)		GS
High Power Factor ballast		H
Tamperproof Lens Fasteners		J
Vertical Mounting (E5 Series only)		R

NOTE: Not available when both hpl and photocell supplied

Polycarbonate Lens	V
--------------------	---

Accessories: (Field-Installed)

Description	Catalog Number
Surface Mounting Box	ESB-7
Pole Mounting Bracket	PAS-7
Tamperproof Screwdriver	TPS-1

Catalog Number Logic/Voltage Suffix Key Page 9

Bollard Panel Page 31

Accessories Page 39

E5 Series Mounting Multipliers

Height	Multiplier
7' (2.1 m)	2.04
8' (2.4 m)	1.56
9' (2.7 m)	1.23
10' (3.0 m)	1.00
12' (3.7 m)	0.69
15' (4.6 m)	0.44
20' (6.1 m)	0.25

E8 Series Mounting Multipliers

Height	Multiplier
8' (2.4 m)	3.52
10' (3.0 m)	2.25
12' (3.7 m)	1.56
15' (4.6 m)	1.00
20' (6.1 m)	0.56
25' (7.6 m)	0.36

The E5 Series photometric data was developed in testing Ruud fixtures with clear, 50W HPS 4,000 lumen medium base lamps. Footcandle readings for other wattages and lamp types may be obtained by multiplying the chart values by the following:

Lamp/Wattages	Multiplier
50W MH	0.85
35W HPS	0.56

The E Series photometric data in this section was developed in testing Ruud fixtures with clear, 70W HPS 6,400 lumen medium base lamps. Footcandle readings for other wattages and lamp types may be obtained by multiplying the chart values by the following:

Lamp/Wattages	Multiplier
50W MH	0.53
70W MH	0.86
35W HPS	0.35
50W HPS	0.63
100W HPS	1.48

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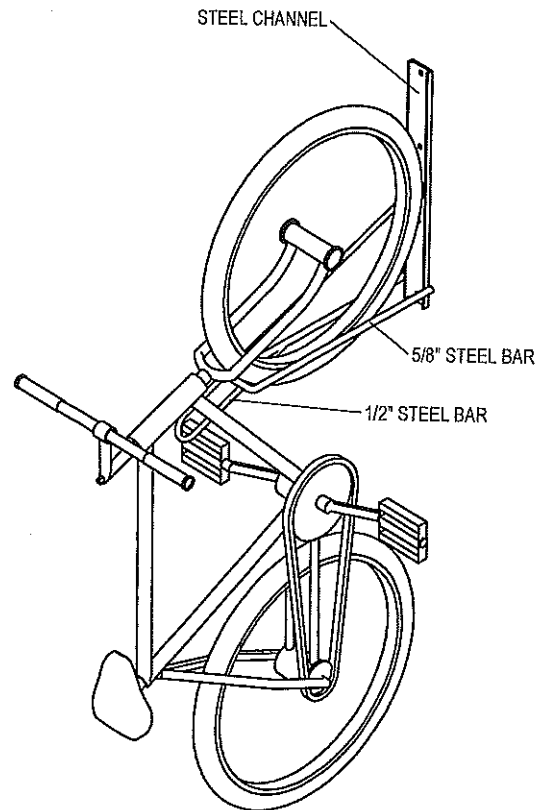
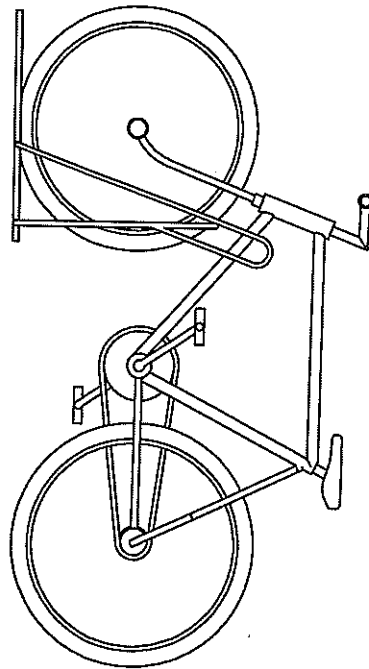
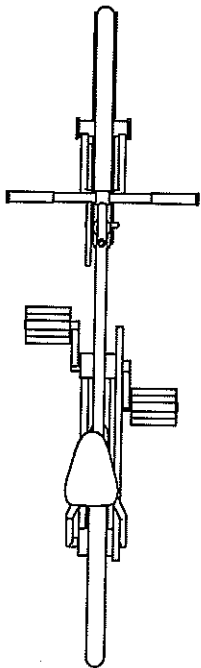
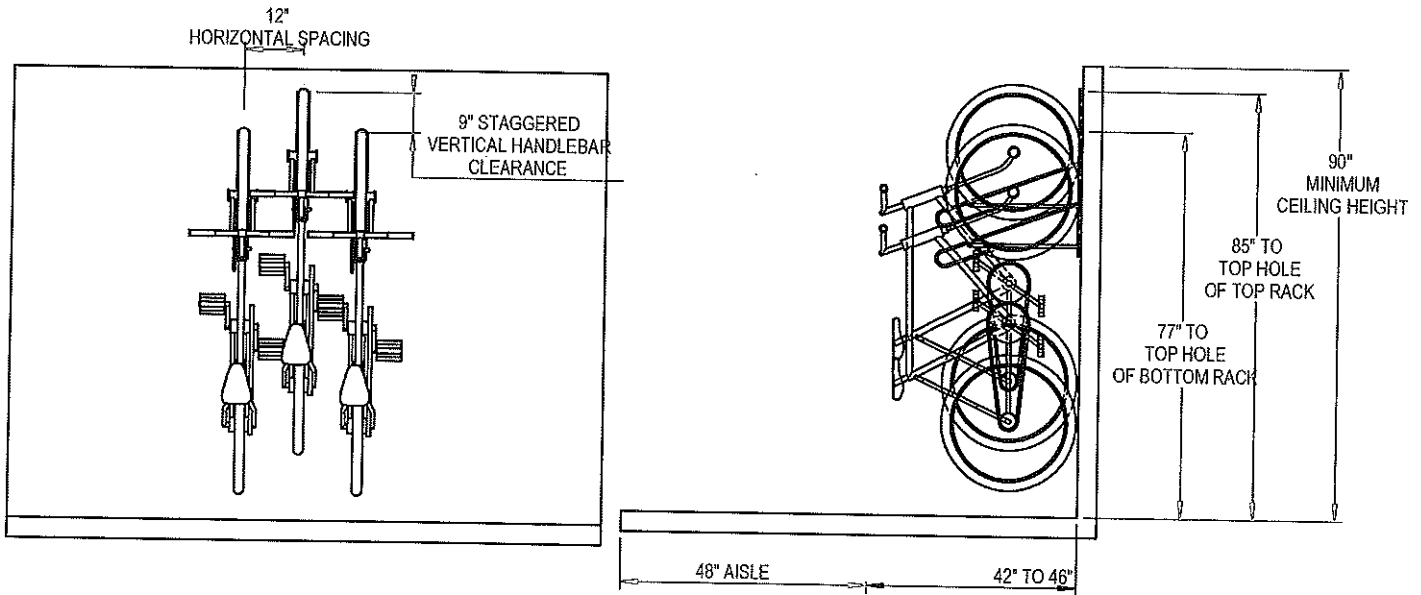
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WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM



PRODUCT: BSV-1-WM
DESCRIPTION: BIKE STORAGE VERTICAL, 1 BIKE, WALL MOUNT

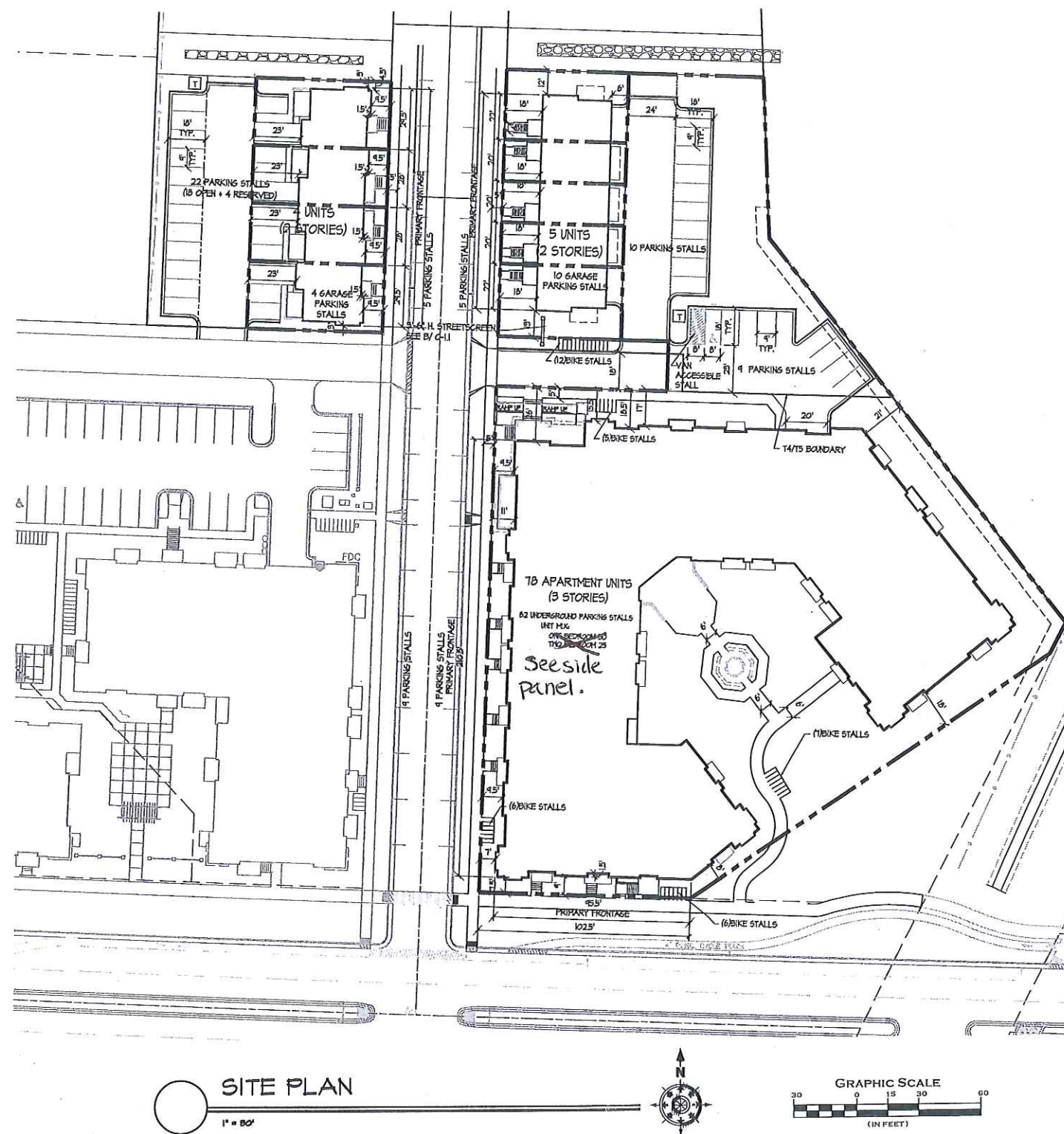
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NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR(FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.



BIKE PARKING	
UNDERGROUND	10 (WALL MOUNTED SEE A/C-1.1)
EXTERIOR	4 NOT ON SITE SHARED WITH OUTLOT 22
TOTAL	14

C-1.1

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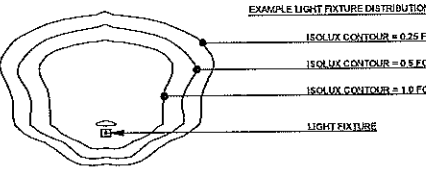
Consultant

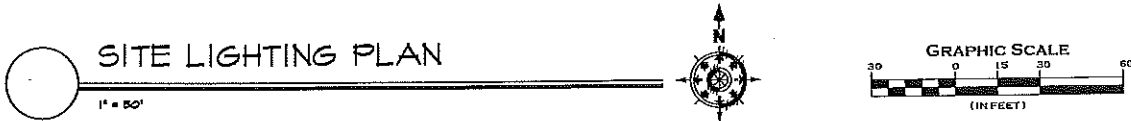
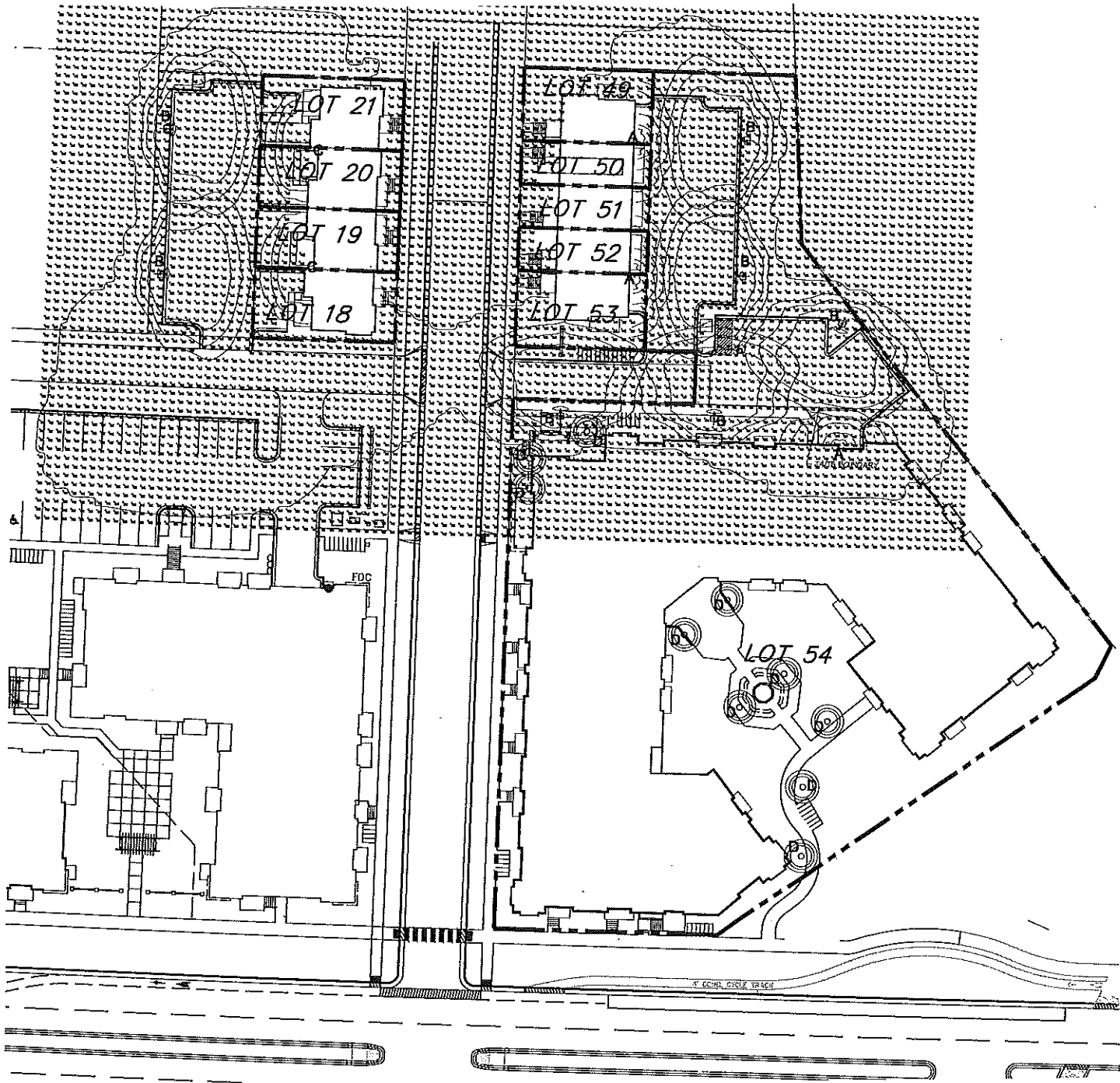
Notes

LIGHTING STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
WEST PARKING / DRIVE	+	1.3 fc	5.0 fc	0.4 fc	12.5:1	3.25:1
EAST PARKING / DRIVE	+	1.6 fc	18.8 fc	0.4 fc	42:1	4.0:1

LIGHTING SCHEDULE							
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	Fix
□	A	3	RUID LIGHTING	E8407	RECTANGULAR SECURITY / DEEP SHIELDED	70 WATT MH	E8507 JES
⬆	B	7	RUID LIGHTING	WAC4105BL	18" WEDGE AREA CUTOFF VIBRA-CLT. SHIELD	100W MH	WAC4175BL JES
□	C	2	RUID LIGHTING	E8407	RECTANGULAR SECURITY / DEEP SHIELDED	70 WATT MH	E8507 JES
○	D	7	LIGMAN LIGHTING	10052	ROMEO BOLLARD	CP-D 25W / 827 SYLVANIA	10052 JES

EXAMPLE LIGHT FIXTURE DISTRIBUTION





Revisions
Revised City-July 25, 2013

Project Title
Riva - Phase II

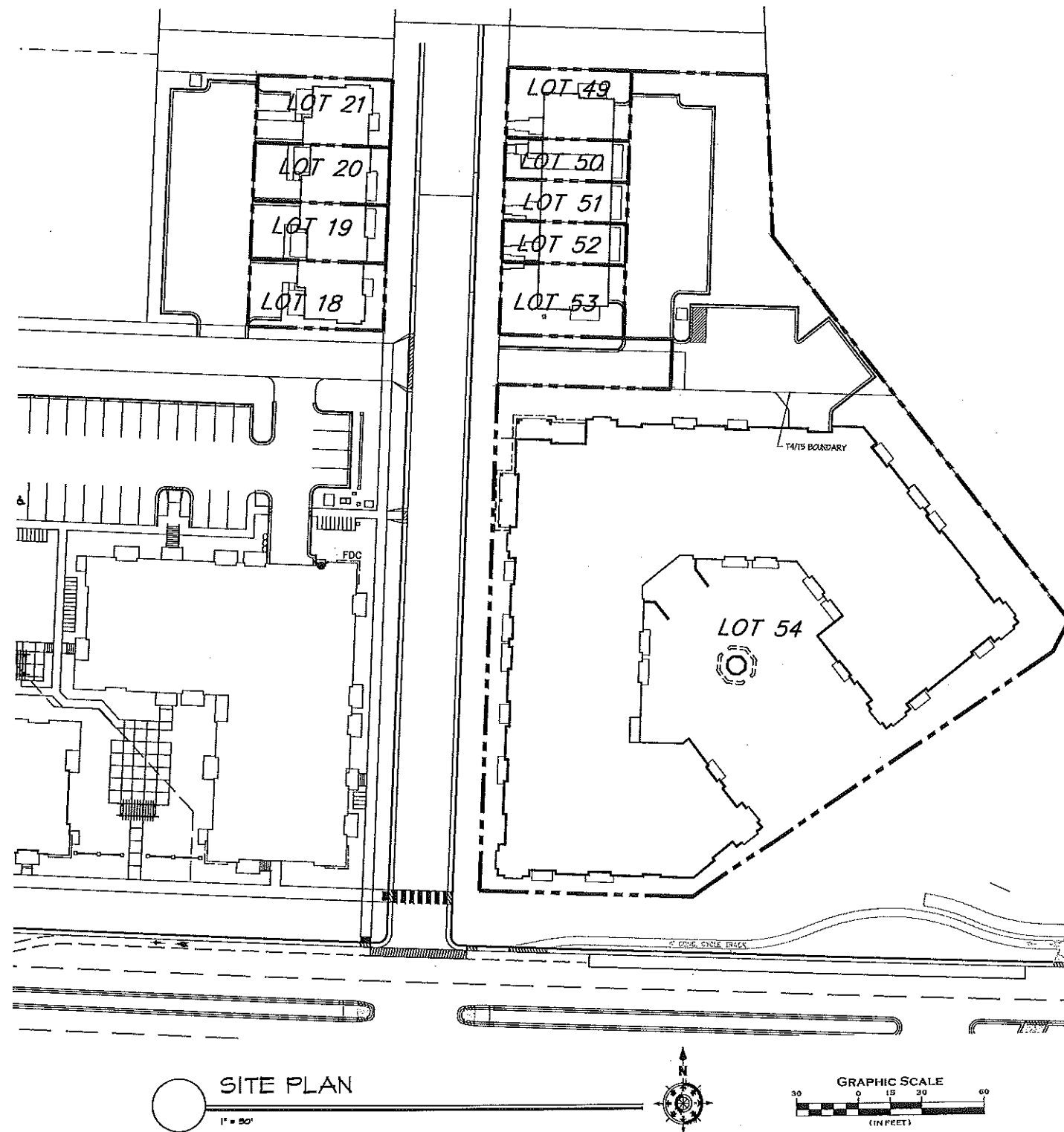
Drawing Title
Site Lighting Plan

Project No. 1316
Drawing No. C-1.2

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Consultant

Notes



Revisions

Revised City-July 25, 2013

Project Title

Riva - Phase II

Drawing Title

Site Plan 2

Project No.

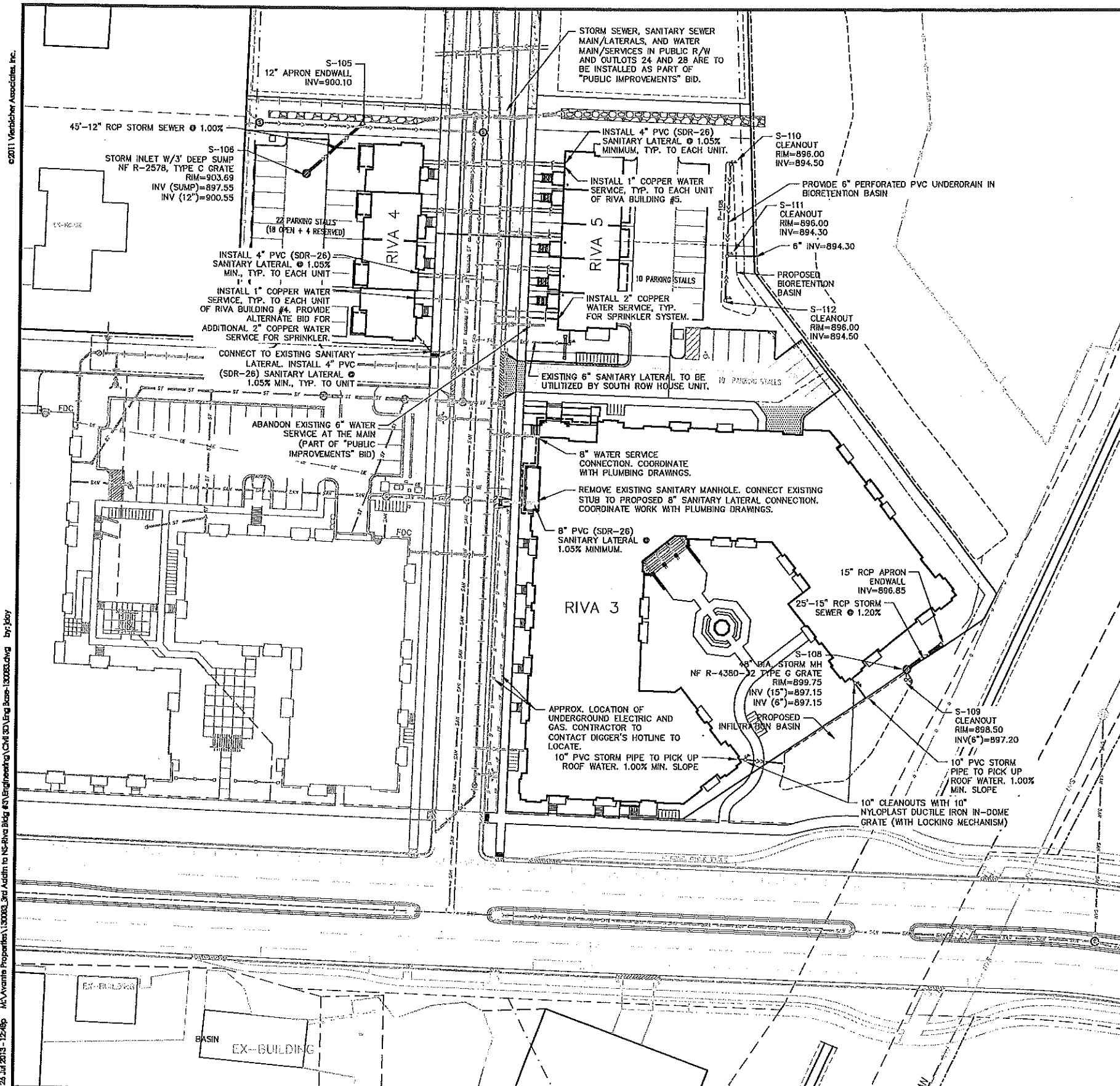
1316

Drawing No.

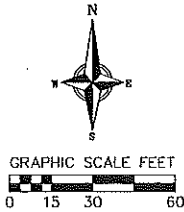
C-1.3

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PROPOSED UTILITY LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER
- "DRIVEWAY" CURB AND GUTTER
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED HANDICAP PARKING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE
- PROPOSED TYPICAL ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER FIELD INLET
- STORM SEWER CURB INLET
- STORM SEWER ENDWALL
- SANITARY MANHOLE
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER CLEANOUT
- WATER MAIN
- FIRE HYDRANT
- WATER VALVE
- GAS MAIN
- ELECTRIC SERVICE

UTILITY NOTES

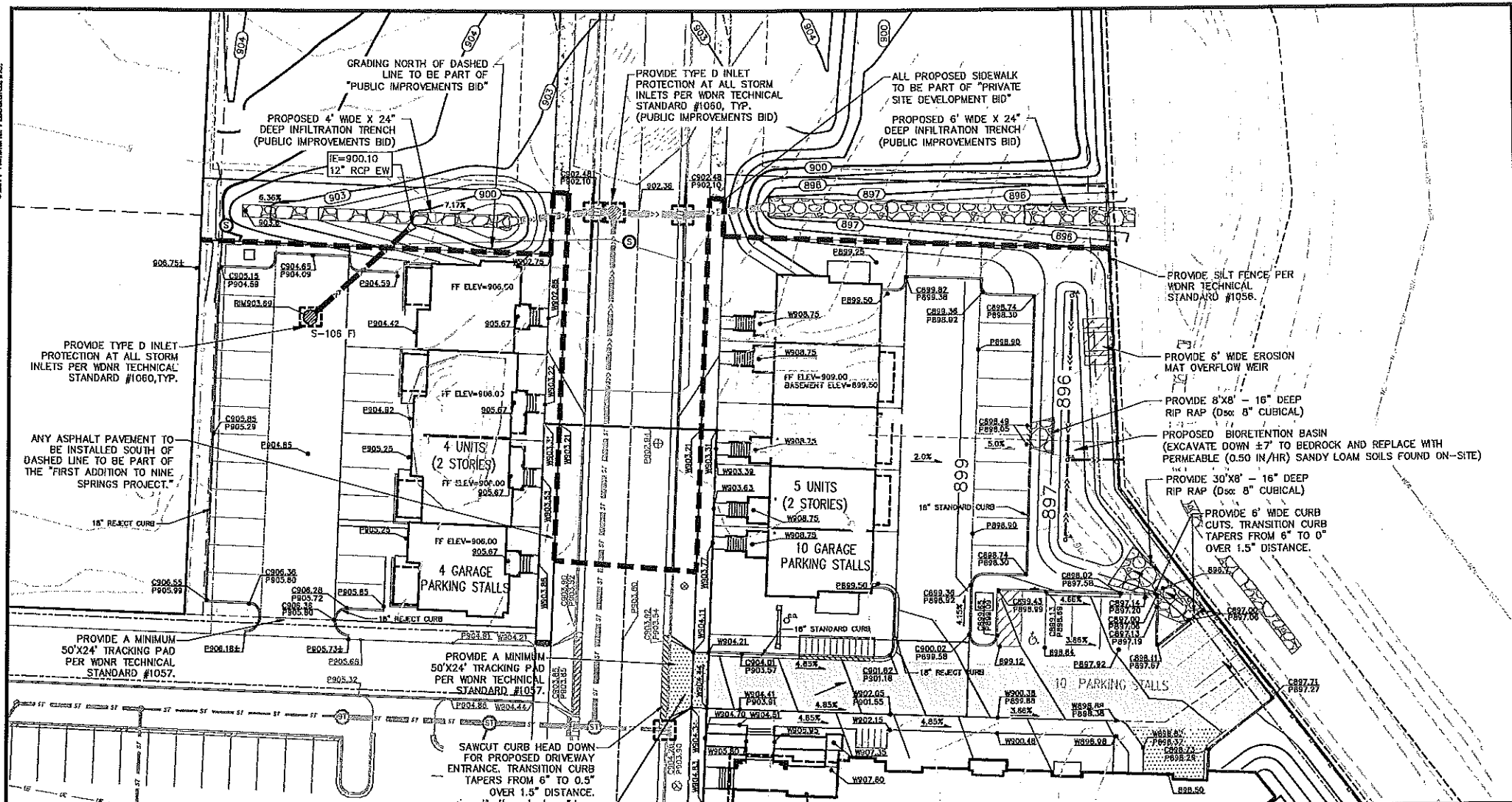
- SANITARY & STORM SEWER LENGTHS ARE SHOWN FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE. PIPE WILL BE PAID FOR FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND END SECTIONS WILL BE PAID FOR PER EACH.
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS).
- FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
- IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
- ALL WATER SYSTEM MATERIALS SHALL BE MANUFACTURED IN THE UNITED STATES AND BE LABELED AS SUCH. USE OF FOREIGN MATERIALS IS PROHIBITED.
- A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF COMMERCE AND OTHER LOCAL INSPECTORS.
- STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
- PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
- PRIVATE SANITARY SEWER AND LATERALS WITHIN THE LOTS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(1)(h) AND SPS 382.40(8)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
- NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
- CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
- PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.

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SITE UTILITY PLAN

RIVA BUILDINGS 3, 4 AND 5
NO OAKS RIDGE
CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

REVISIONS		NO.	DATE	REMARKS
1	7-18-13	BID PLANS		
2	7-25-13	CITY COMMENTS		
SCALE: AS SHOWN				
DATE: 6-11-13				
DRAFTER: TJOY				
CHECKED: JJOY				
PROJECT NO.: 130083				
SHEET: 3 OF 8				
DWS, NO. C-2.0				



LEGEND

- PROPERTY BOUNDARY
CURB AND GUTTER
"DRIVEWAY" CURB AND GUTTER
PROPOSED ADA DETECTABLE WARNING FIELD
PROPOSED SIGN
PROPOSED LIGHT POLE
PROPOSED HANDICAP PARKING
PROPOSED CONCRETE SIDEWALK
PROPOSED HEAVY DUTY CONCRETE
PROPOSED TYPICAL ASPHALT PAVEMENT
PROPOSED HEAVY DUTY ASPHALT PAVEMENT
STORM SEWER PIPE
STORM SEWER MANHOLE
STORM SEWER FIELD INLET
STORM SEWER CURB INLET
EXISTING MAJOR CONTOURS
EXISTING MINOR CONTOURS
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
PROPOSED ADA ACCESSIBLE ROUTE
SILT FENCE OR SILT SOCK
PROPOSED SLOPE ARROWS
PROPOSED SPOT ELEVATIONS
EXISTING SPOT ELEVATIONS
TYPE D INLET PROTECTION
RIP RAP

ABBREVIATIONS	
C	TOP OF CURB
FF	FINISHED FLOOR
W	TOP OF WALK
E	EDGE OF PAVEMENT
R	RISERS



GRAPHIC SCALE FEET
0 10 20 40

EROSION CONTROL NOTES:

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF FITCHBURG EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS ([HTTP://DNR.WI.GOV/RUNOFF/STORMWATER/TECHSTD.S.HTM](http://dnr.wi.gov/runoff/stormwater/techstds.htm)).
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL SITE IS ESTABLISHED. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY AND AS DIRECTED BY CITY.
- CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
- SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL SITE IS ESTABLISHED.
- USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDING AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 5:1 OR GREATER BUT LESS THAN 1:1. EROSION MAT INSTALLED ADJACENT TO WETLAND SHALL BE DESIGNED TO NOT ENTRAP ANIMALS.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER/THIS SHEET. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF FITCHBURG.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

SEEDING RATES:

TEMPORARY:
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 S.F. FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 4 LB./1,000 S.F. IN LAWN AND TERRACES.
2. USE PRAIRIE NURSERY DETENTION BASIN WET PRAIRIE MIX IN DETENTION BASIN BELOW WATER ELEVATION.
3. USE PRAIRIE NURSERY EROSION CONTROL FOR DRY SOILS IN ALL OTHER AREAS AROUND THE DETENTION BASIN.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:
USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

NATIVE PLANTINGS SHALL BE PER MANUFACTURERS RECOMMENDATIONS.

CONSTRUCTION SEQUENCE:

- INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
- INSTALL SILT FENCE, SILT SOCK, AND TRACKING PAD.
- STRIP TOPSOIL OF EXISTING SITE
- RELOCATE EXISTING SWALE, INFILTRATION TRENCH AND STORM SEWER TO THE NORTH AS PROPOSED.
- ROUGH GRADE DRIVES, PARKING LOTS AND BUILDING PADS.
- CONSTRUCT UNDERGROUND UTILITIES.
- INSTALL INLET PROTECTION ON ALL NEW STORM INLETS.
- CONSTRUCT WALKS, DRIVES, PARKING LOTS AND BUILDINGS.
- FINAL GRADE SITE AND STABILIZE SITE.
- GRADE / INSTALL INFILTRATION BASIN, BIOTENTION BASIN AND STONE FOR INFILTRATION TRENCHES.
- FINAL GRADE SITE, RESPREAD TOPSOIL, SEED AND MULCH.
- REMOVE TRACKING PAD AND SILT FENCE AFTER DISTURBED AREAS ARE STABILIZED.

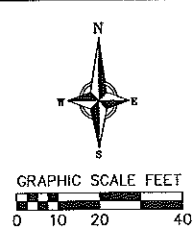
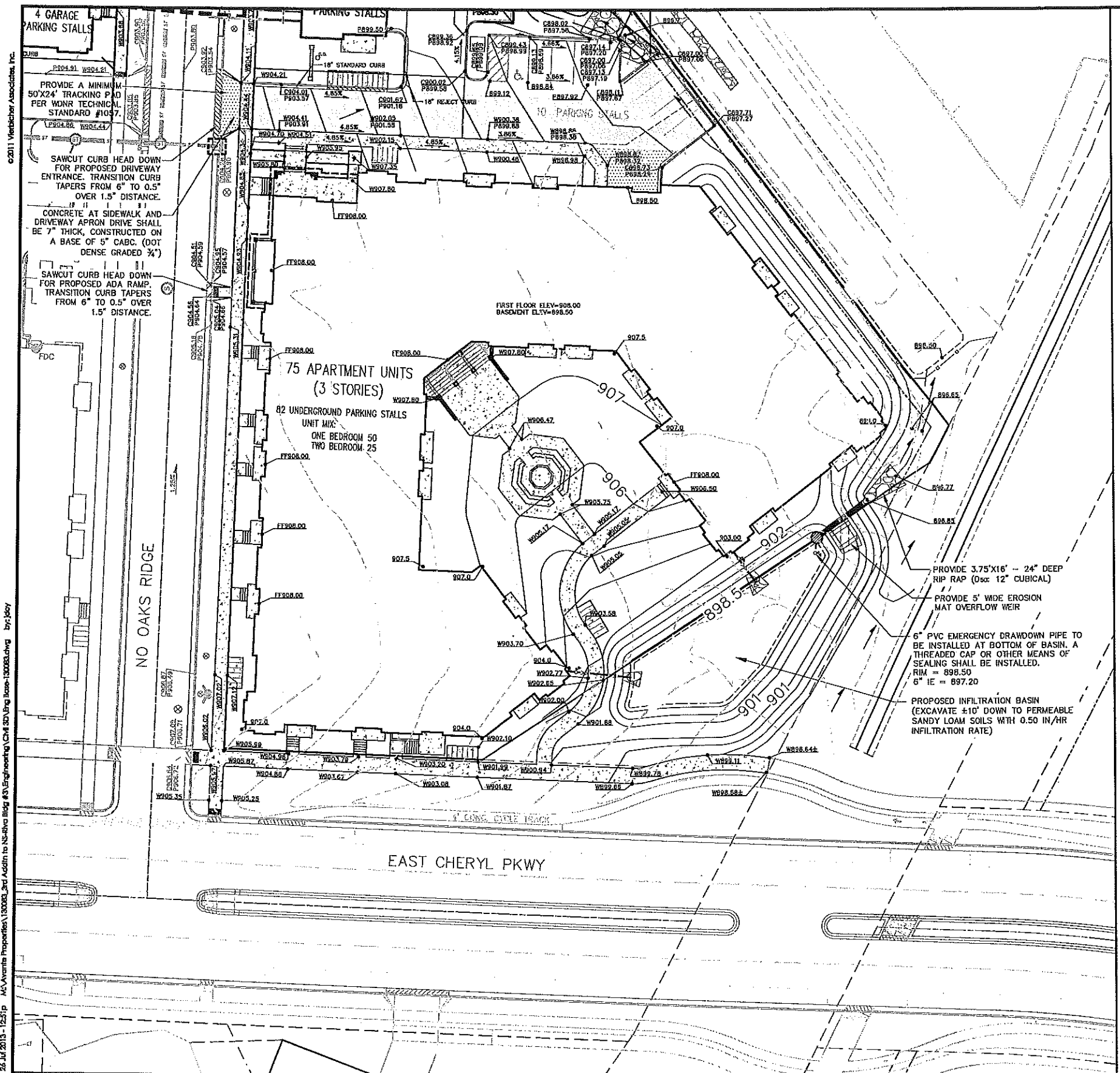
GRADING AND EROSION CONTROL PLAN

RIVA BUILDINGS 3, 4 AND 5
NO OAKS RIDGE

CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

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1991 W. MONROE AVE. SUITE 200
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REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	7-18-13	1	7-18-13
2	7-25-13	2	7-25-13
SCALE		SCALE	
AS SHOWN		AS SHOWN	
DATE		DATE	
6-11-13		6-11-13	
DRAWN		DRAWN	
TCOY		TCOY	
CHECKED		CHECKED	
JDOY		JDOY	
PROJECT NO.		PROJECT NO.	
130083		130083	
SHEET		SHEET	
4 OF 8		4 OF 8	
DWG. NO.		DWG. NO.	
C-3.0		C-3.0	



- LEGEND**
- PROPERTY BOUNDARY
 - CURB AND GUTTER
 - "DRIVEWAY" CURB AND GUTTER
 - PROPOSED ADA DETECTABLE WARNING FIELD
 - PROPOSED SIGN
 - PROPOSED LIGHT POLE
 - PROPOSED HANDICAP PARKING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED HEAVY DUTY CONCRETE
 - PROPOSED TYPICAL ASPHALT PAVEMENT
 - PROPOSED HEAVY DUTY ASPHALT PAVEMENT
 - STORM SEWER PIPE
 - STORM SEWER MANHOLE
 - STORM SEWER FIELD INLET
 - STORM SEWER CURB INLET
 - EXISTING MAJOR CONTOURS
 - EXISTING MINOR CONTOURS
 - PROPOSED MAJOR CONTOURS
 - PROPOSED MINOR CONTOURS
 - PROPOSED ADA ACCESSIBLE ROUTE
 - SILT FENCE OR SILT SOCK
 - PROPOSED SLOPE ARROWS
 - PROPOSED SPOT ELEVATIONS
 - EXISTING SPOT ELEVATIONS
 - TYPE D INLET PROTECTION
 - RIP RAP
 - DITCH CENTERLINE
- ABBREVIATIONS**
- C - TOP OF CURB
 - FF - FINISHED FLOOR
 - W - TOP OF WALK
 - P - EDGE OF PAVEMENT
 - R - RISERS

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GRADING AND EROSION CONTROL PLAN

RIVA BUILDINGS 3, 4 AND 5
NO OAKS RIDGE
CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
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2	7-25-13	2	7-25-13

SCALE: AS SHOWN

DATE: 6-11-13

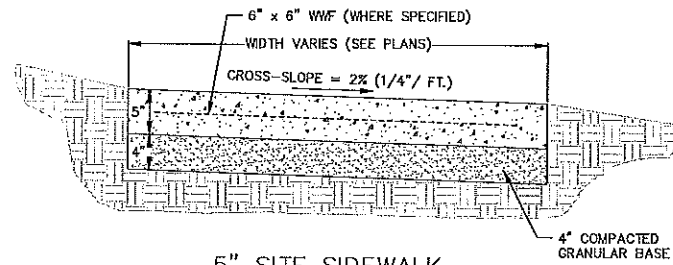
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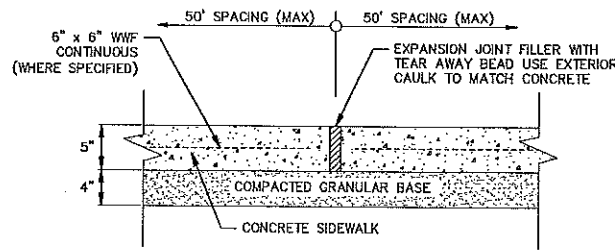
PROJECT NO.: 130083

SHEET: 5 OF 8

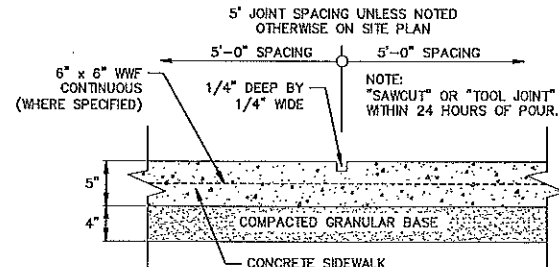
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5" SITE SIDEWALK

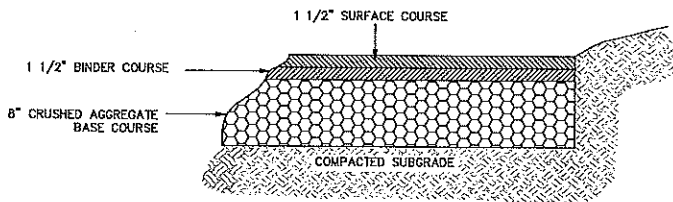


SIDEWALK EXPANSION JOINT

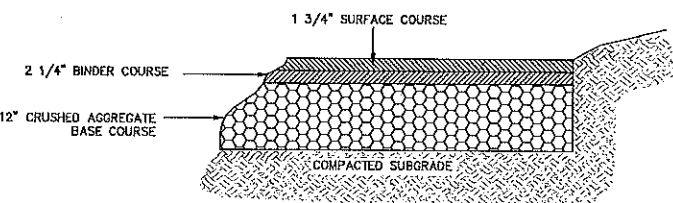


SIDEWALK CONTROL JOINT

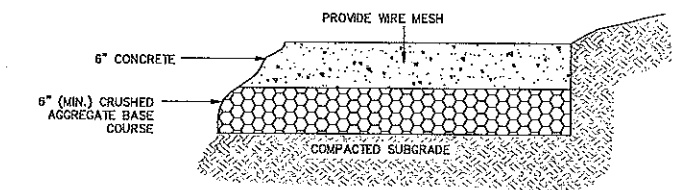
1
6
5" SIDEWALK
NOT TO SCALE



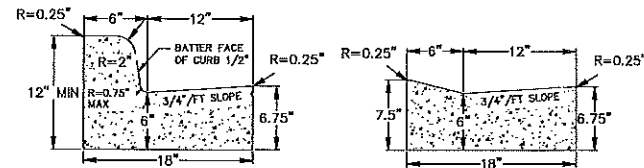
2
6
SITE TYPICAL ASPHALT SECTION
NOT TO SCALE



3
6
SITE HEAVY DUTY ASPHALT SECTION
NOT TO SCALE

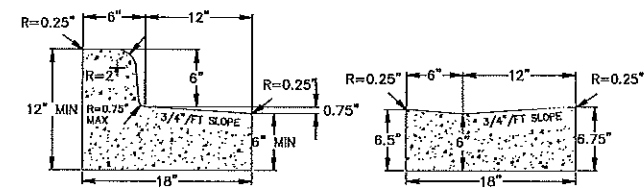


4
6
SITE HEAVY DUTY CONCRETE SECTION
NOT TO SCALE



CURB AND GUTTER CROSS SECTION

DRIVEWAY CUTTER CROSS SECTION

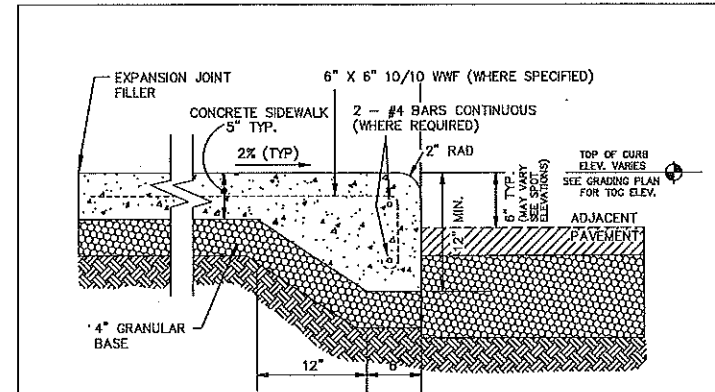


CURB AND GUTTER REJECT SECTION

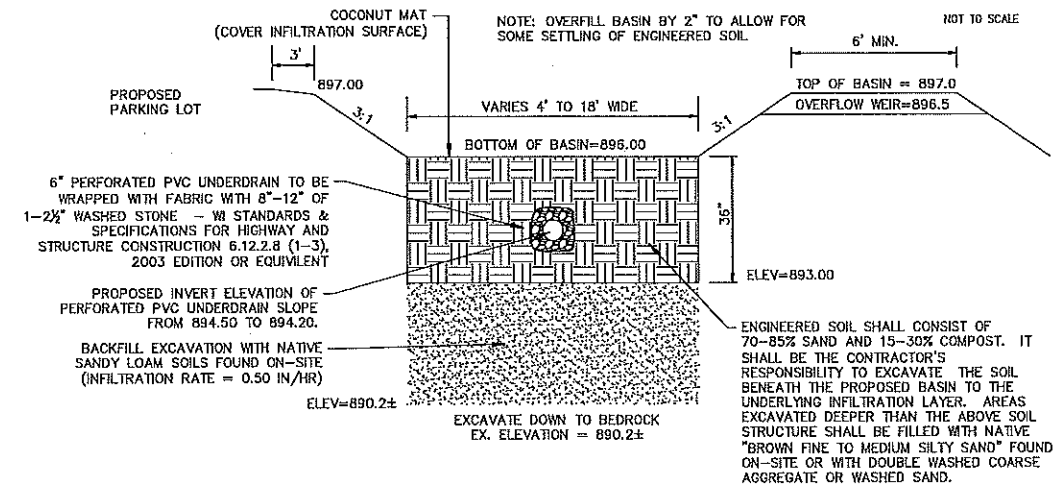
HANDICAP RAMP GUTTER CROSS SECTION

- NOTES:
- ALL CURB AND GUTTER SHALL HAVE MIN. 6" BASE OF COMPACTED CRUSHED AGGREGATE, GRADATION NO. 2 OR 3 (TYP.)
 - 6" BASE SHALL BE PROVIDED 12" BEYOND BACK OF CURB.
 - ALL CURB AND GUTTER SHALL ALSO COMPLY WITH CITY OF FITCHBURG STANDARD DETAIL 4.01.
 - "TIE BARS" ARE TO BE USED WITH CURB SECTION AND CURB AND GUTTER SECTION.
 - IN ALL CASES, CONCRETE CURB AND GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.
 - THE TOP OF CURB SHALL BE MARKED WHERE THE SANITARY SEWER AND WATER SERVICE CROSS THE CURB AND GUTTER. THE MARK MAY BE MADE BY SAWCUTTING, TOOLING, OR STAMPING. THE DEPTH SHALL BE A MINIMUM 1/16" DEEP.

5
6
18" CURB AND GUTTER DETAIL
NOT TO SCALE



6
8
6" RAISED WALK DETAIL
NOT TO SCALE



BIO-RETENTION AREA RESTORATION SPECIFICATIONS:
NOTE: BIO-RETENTION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

BIO-RETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION)

PLANTING, MULCH, AND MAINTENANCE NOTES:
PLANTING SHOULD TAKE PLACE BETWEEN AVAILABILITY OF PLANTS IN SPRING AND JUNE 30TH, OR BETWEEN SEPTEMBER 1ST AND OCTOBER 15TH. IF PLANTED JULY 1ST THROUGH AUGUST 31ST, HEAVILY WATER THE PLANTS AT THE TIME THEY ARE PLANTED, AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING. IF PLANTED SEPTEMBER 1ST THROUGH OCTOBER 15TH, PLACE CERTIFIED WEED-FREE STRAW MULCH AT 3" MINIMUM THICKNESS BETWEEN PLANTS TO HELP PREVENT FROST HEAVE. IF PLANTING IS TO OCCUR AFTER OCTOBER 15TH, IT MUST BE POSTPONED UNTIL THE FOLLOWING SPRING (MAY). FOR THE FIRST 3 YEARS AFTER PLANTING, SPOT TREAT THE AREA WITH HERBICIDE TO REMOVE WEEDS.

RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):

- OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION.
- CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER.
- PLACE WASHED MATERIAL (FREE OF P200 PARTICLES)
- PLACE 36 INCHES OF ENGINEERED SOIL.
- PLANT PLUG, EROSION MAT, WATER, AND MAINTAIN AS DIRECTED ABOVE.

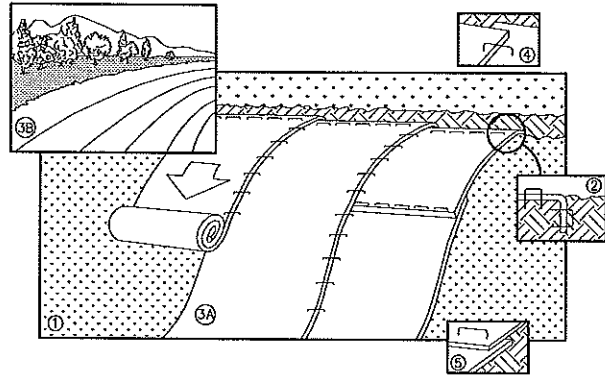
7
8
BIORETENTION BASIN TYPICAL SECTION
NOT TO SCALE

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999 Fitchburg, WI 53537
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CONSTRUCTION DETAILS

RIVA BUILDINGS 3, 4 AND 5
NO OAKS RIDGE
CITY OF FITCHBURG, DANE COUNTY, WISCONSIN

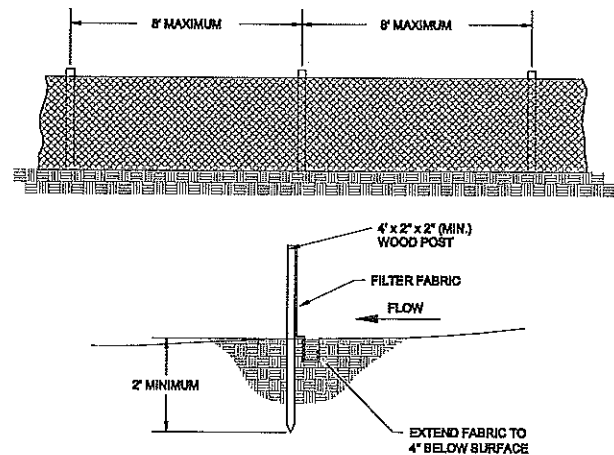
REVISIONS	NO.	DATE	REMARKS
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2	7-25-13	CITY COMMENTS	
SCALE: AS SHOWN			
DATE: 6-11-13			
DRAFTER: TGOY			
CHECKED: JDOY			
PROJECT NO.: 130063			
SHEET: 6 OF 8			
DWG. NO.: C-4.0			



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

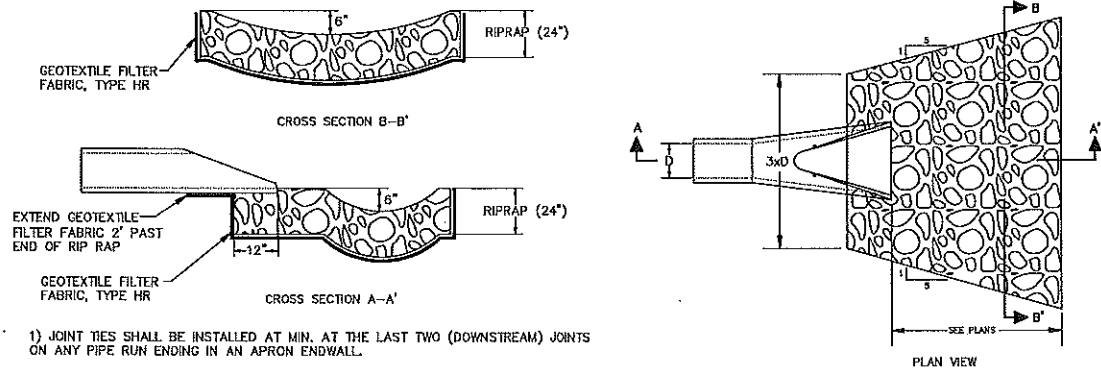
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS <A> DOWN, OR HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

1 EROSION MAT
7 NOT TO SCALE



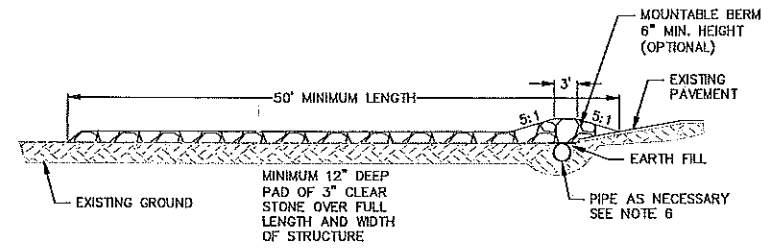
1. DRIVE STAKES INTO THE GROUND AT LEAST 24" DEEP. STAKE SPACING TO BE PER MANUFACTURERS' RECOMMENDATIONS BUT IN NO CASE, MORE THAN 8' BETWEEN STAKES.
2. EXCAVATE A 4" x 6" DEEP TRENCH UPSLOPE ALONG THE LINE OF STAKES.
3. STAPLE FILTER MATERIAL ON UPSLOPE SIDE OF STAKES AND EXTEND IT INTO THE TRENCH. WHEN JOINTS ARE NECESSARY, OVERLAP MATERIAL BETWEEN TWO STAKES AND FASTEN SECURELY.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL.

2 SILT FENCE DETAIL
7 NOT TO SCALE

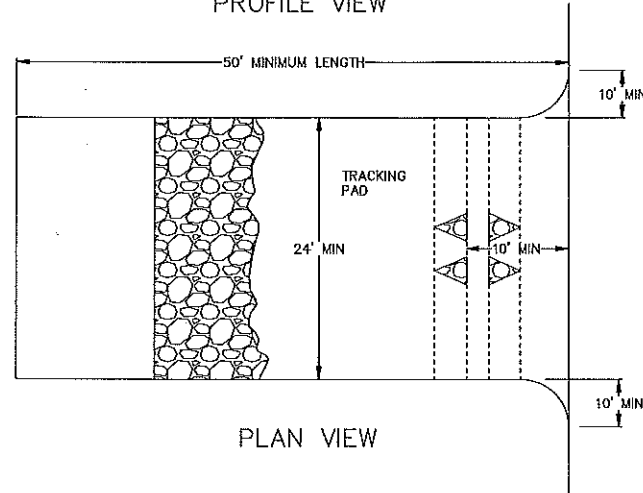


- 1) JOINT TIES SHALL BE INSTALLED AT MIN. AT THE LAST TWO (DOWNSTREAM) JOINTS ON ANY PIPE RUN ENDING IN AN APRON ENDWALL.

3 RIP RAP OUTLET DETAIL
7 NOT TO SCALE



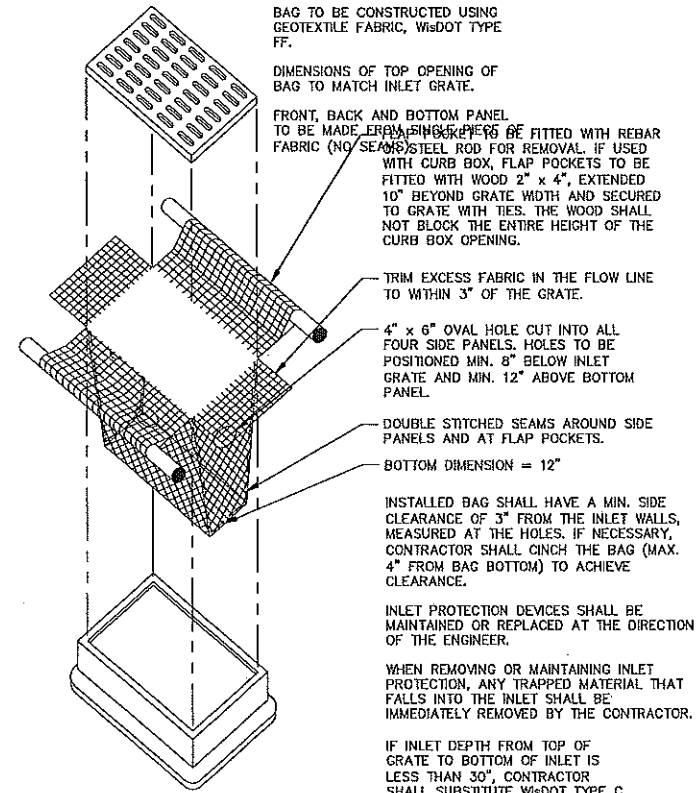
PROFILE VIEW



PLAN VIEW

1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24" MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

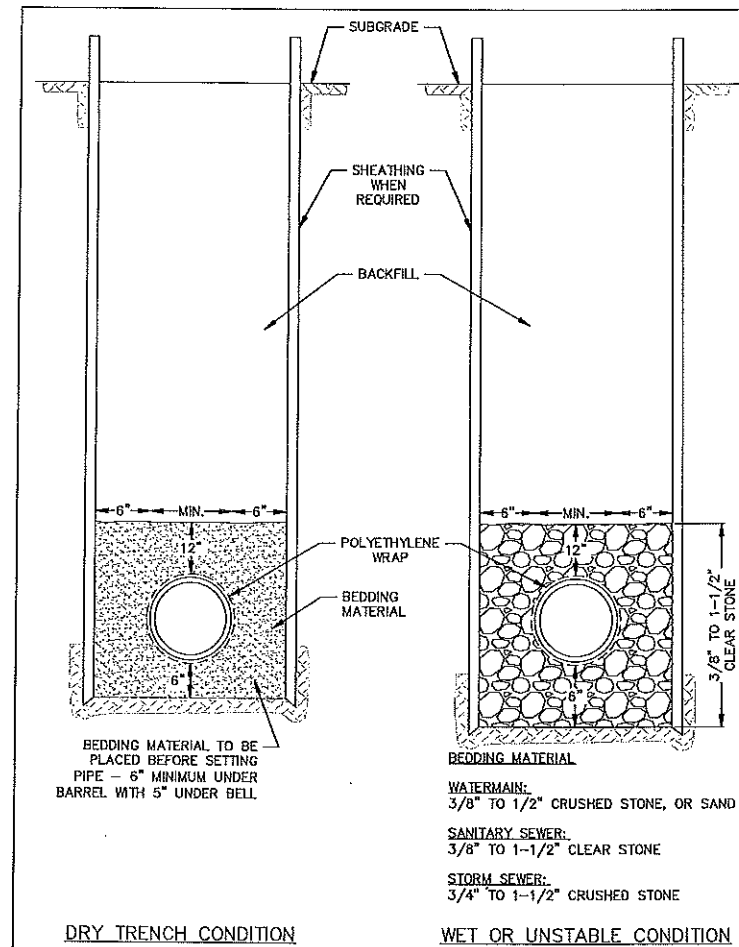
4 STONE CONSTRUCTION ENTRANCE
7 NOT TO SCALE



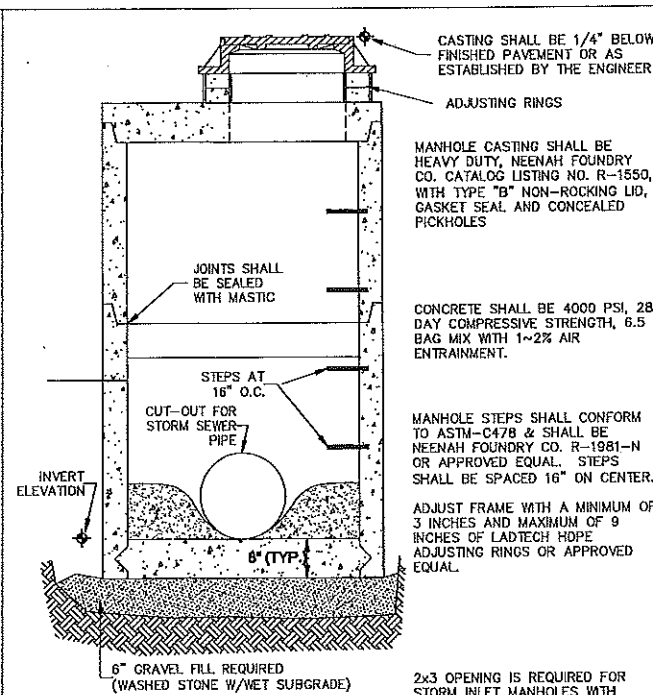
- BAG TO BE CONSTRUCTED USING GEOTEXTILE FABRIC, WISDOT TYPE FF.
- DIMENSIONS OF TOP OPENING OF BAG TO MATCH INLET GRATE.
- FRONT, BACK AND BOTTOM PANEL TO BE MADE FROM 1/2" THICK GEOTEXTILE FABRIC (NO SEAMS). FABRIC TO BE FITTED WITH REBAR WITH CURB BOX, FLAP POCKETS TO BE FITTED WITH WOOD 2" x 4", EXTENDED 10" BEYOND GRATE WIDTH AND SECURED TO GRATE WITH TIES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- 4" x 6" OVAL HOLE CUT INTO ALL FOUR SIDE PANELS. HOLES TO BE POSITIONED MIN. 8" BELOW INLET GRATE AND MIN. 12" ABOVE BOTTOM PANEL.
- DOUBLE STITCHED SEAMS AROUND SIDE PANELS AND AT FLAP POCKETS.
- BOTTOM DIMENSION = 12"
- INSTALLED BAG SHALL HAVE A MIN. SIDE CLEARANCE OF 3" FROM THE INLET WALLS, MEASURED AT THE HOLES. IF NECESSARY, CONTRACTOR SHALL CINCH THE BAG (MAX. 4" FROM BAG BOTTOM) TO ACHIEVE CLEARANCE.
- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, ANY TRAPPED MATERIAL THAT FALLS INTO THE INLET SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.
- IF INLET DEPTH FROM TOP OF GRATE TO BOTTOM OF INLET IS LESS THAN 30", CONTRACTOR SHALL SUBSTITUTE WISDOT TYPE C INLET PROTECTION.

5 INLET PROTECTION TYPE D
7 NOT TO SCALE

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	7-18-13	1	7-18-13
2	7-25-13	2	7-25-13
SCALE AS SHOWN		DATE 6-11-13	
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PROJECT NO. 130083		SHEET 7 OF 8	
DWG. NO. C-4.1			

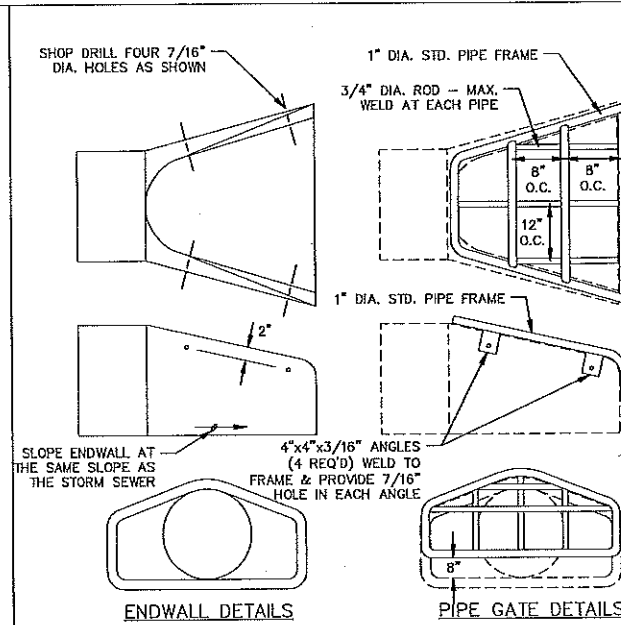


1 STANDARD TRENCH SECTION
NOT TO SCALE

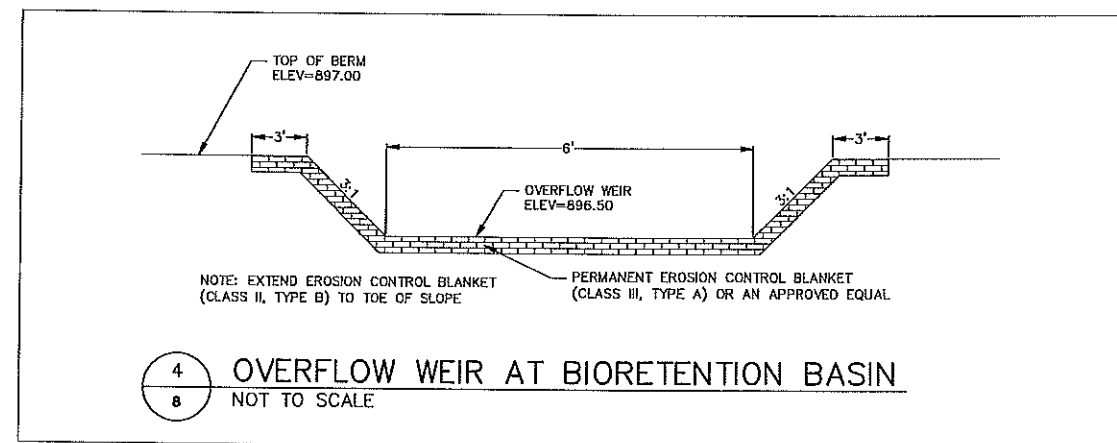


2 STORM SEWER MANHOLE DETAIL
NOT TO SCALE

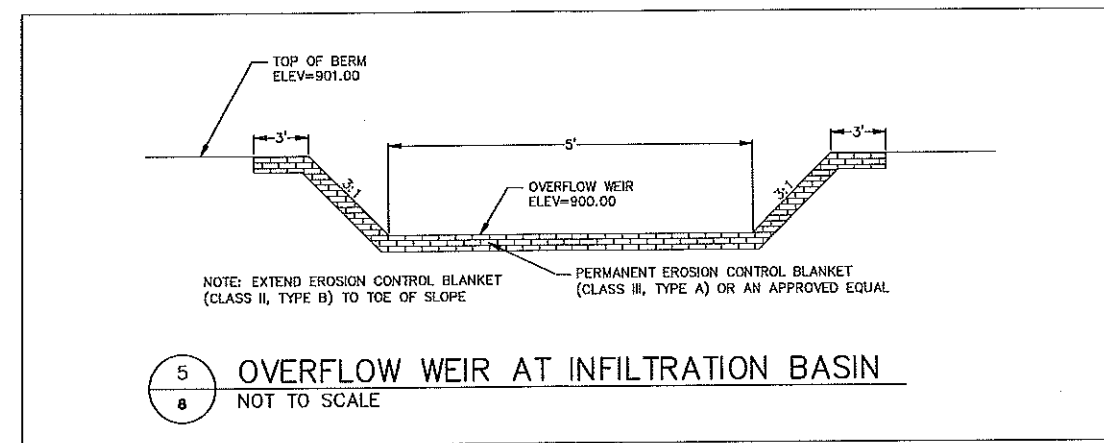
MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5'
60"	60"	6'
72"	72"	7'
84"	84"	7'
96"	96"	9'



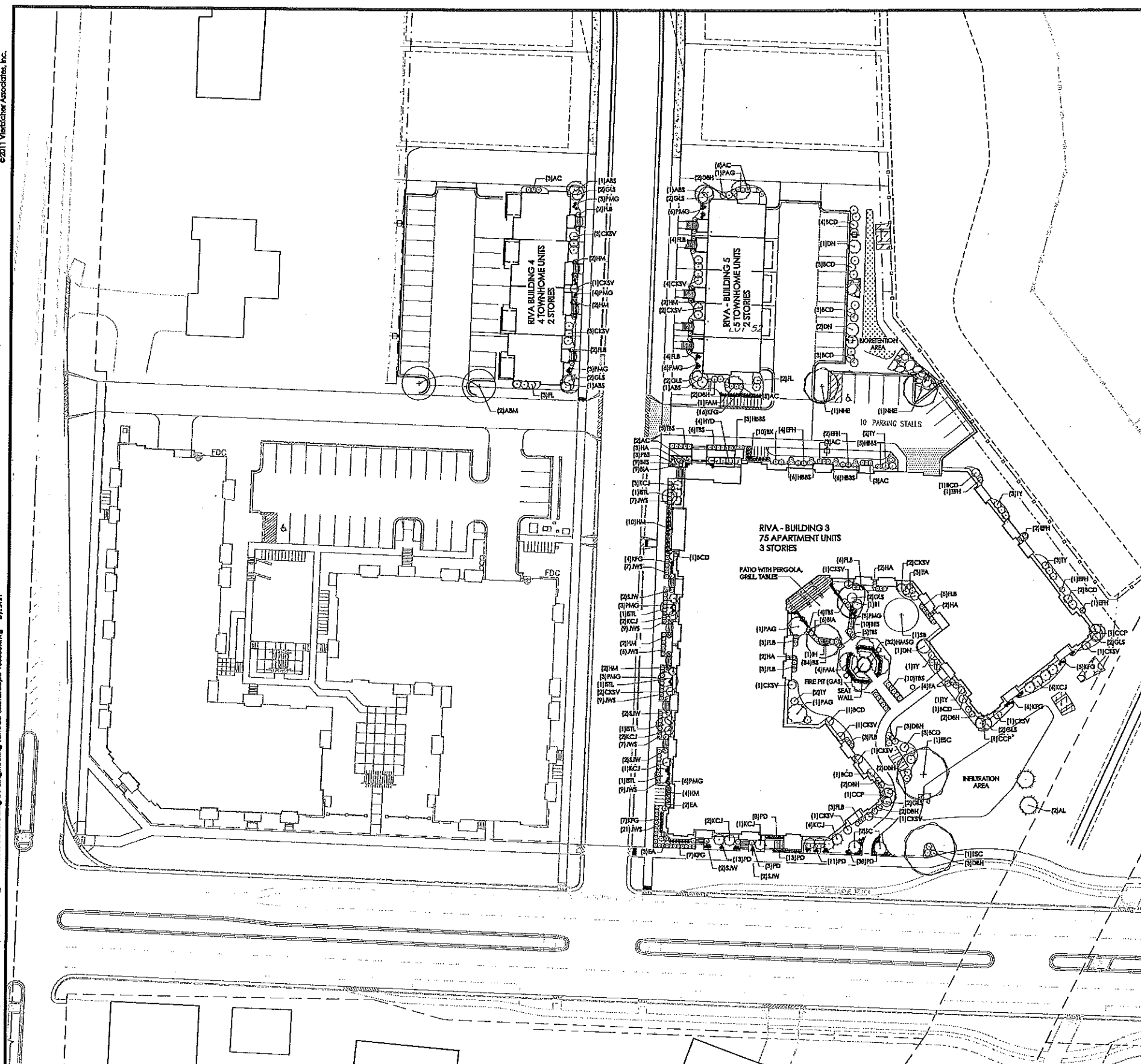
3 STANDARD ENDWALL
NOT TO SCALE



4 OVERFLOW WEIR AT BIORETENTION BASIN
NOT TO SCALE



5 OVERFLOW WEIR AT INFILTRATION BASIN
NOT TO SCALE

[illegible]

GENERAL NOTES:

1. All plantings shall conform to quality requirements as per ANSI Z60.1.
2. All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
3. Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
4. Areas labeled 'BENTONITE' to be planted with native plant plugs at 15" on center (550 plants total), plant list to be developed.
5. Areas labeled 'INFILTRATION' to be seeded with Infiltration Swards seed mix by Agrecol, or equal, at 9 lbs per acre.
6. All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Oakes Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
7. All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following final acceptance. All plants shall be guaranteed for one year from the time of installation.
8. Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/seeded.
9. Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min.
10. Stone mowing edge to be provided around all buildings, 24" width min. Stone to be 1.5" clean crushed stone down to 3" depth min., over weed barrier fabric.
11. All landscape beds to be edged with black vinyl landscape edging, black Diamond brand or equal.



vierbicher
planners | engineers | advisors

REEDSBURG - MADISON - PRAIRIE DU CHIEN
99 Foulard Drive, Suite 201 Madison, Wisconsin 53717
(608) 261-1100 Fax: (608) 261-1101

LANDSCAPE PLAN

**RIVA BUILDINGS 3, 4 AND 5
NO OAKS RIDGE**

REVISIONS			REVISIONS		
NO.	DATE	REMARKS	NO.	DATE	REMARKS
1	07/18/13	BID PLANS			
2	07/25/13	CITY COMMENTS			

SCALE
AS SHOWN

DATE _____

DATE	11/11/2011
DRAFTER	

SWN	
CHECKED	

PROJECT M

SHEET

1 OF

DWG. NO.

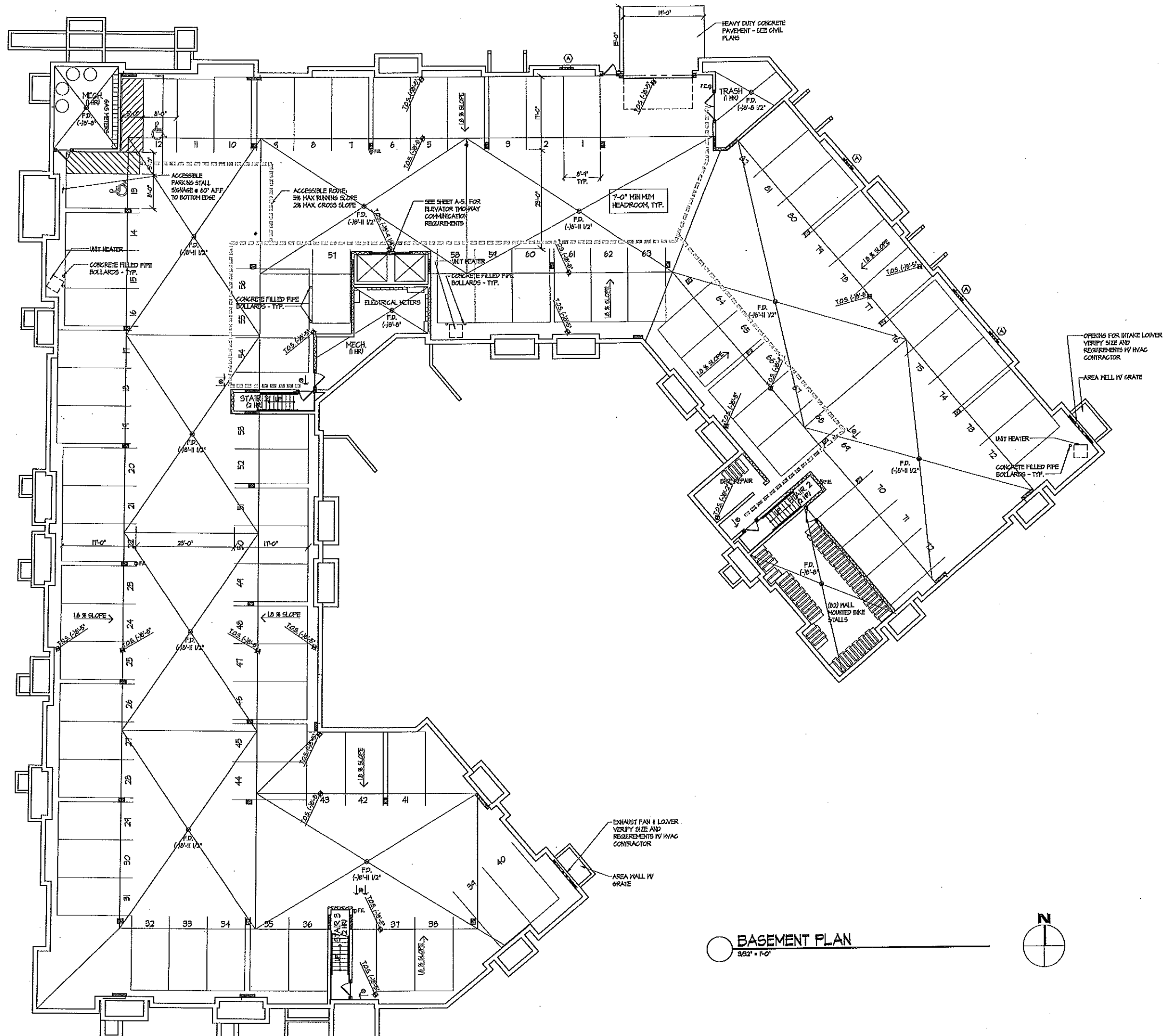


GRAPHIC SCALE FEET

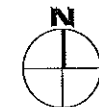
Consultant

Notes

1. SEE 10 / A-3.1 FOR TYPICAL BREAKFAST BAR DETAIL.
2. ALL PARTITIONS TO BE TYPE I UNLESS NOTED OTHERWISE - SEE SHEET A-3.0.
3. SEE FRAMING PLANS FOR BEARING WALL LOCATIONS. BEARING WALLS TO BE WALL TYPE #4. WALLS CONTAINING BEARING COLLARS TO ALSO BE TYPE #4.
4. SEE SHEETS A-5.1 AND A-5.2 FOR ACCESSIBILITY REQUIREMENTS FOR TYPE A AND TYPE B UNITS.



BASEMENT PLAN
3/32' x 11'-0"



Revisions
June 28, 2013
Revised City - July 23, 2013
Revised City - August 24, 2013

City - July 23, 2013

**RIVA PHASE II
BUILDING 3**

Basement Plan

Project No.

1316

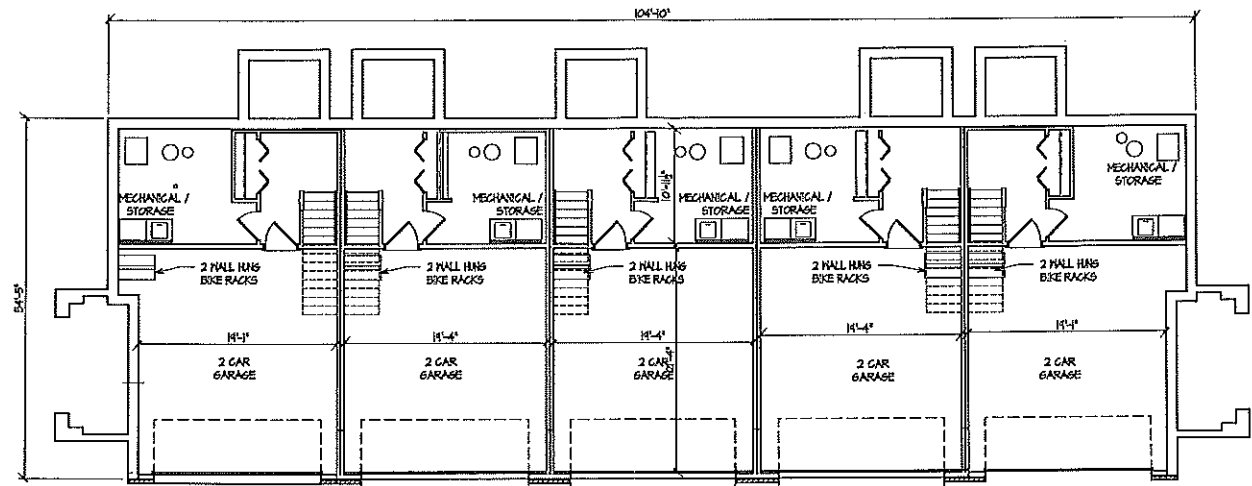
Drawing No.

A-1.0

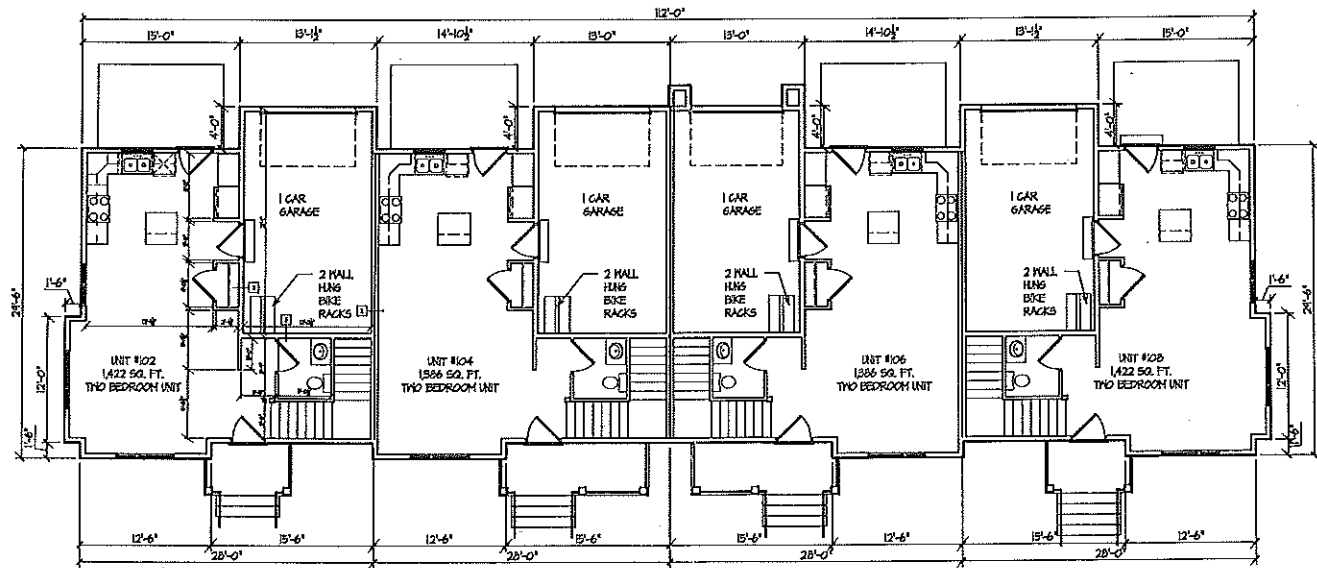
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Notes



5 UNIT BASEMENT PLAN
1/8" = 1'-0"



4 UNIT FIRST FLOOR PLAN
1/8" = 1'-0"

Revisions
June 25, 2013
Revised City - July 25, 2013

Project Title
RIVA - PHASE II
4 & 5 UNIT BASEMENT
PLANS

Drawing Title
Basement Plans

Project No. Drawing No.
1316 A-1.1

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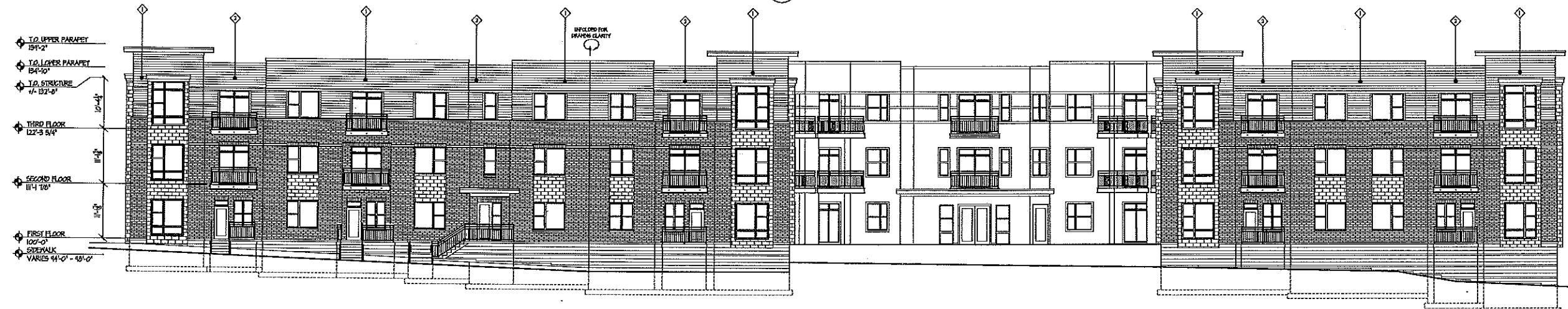
Consultant

Notes

EXTERIOR MATERIAL SCHEDULE			
BUILDING MATERIAL	MATERIAL	MANUFACTURER	COLOR
HORIZONTAL SIDING #1	COMPOSITE	SMART SIDE	TBD
HORIZONTAL SIDING #2	COMPOSITE	SMART SIDE	TBD
SIDING ACCENT STRIPE	COMPOSITE	SMART SIDE	TBD



WEST ELEVATION
9/52' = 1'-0"



SOUTH ELEVATION
8/52' = 1'-0"



NORTHEAST ELEVATION
9/52' = 1'-0"

NORTH ELEVATION
9/52' = 1'-0"

Revisions
City-July 25, 2013
City-August 4, 2013

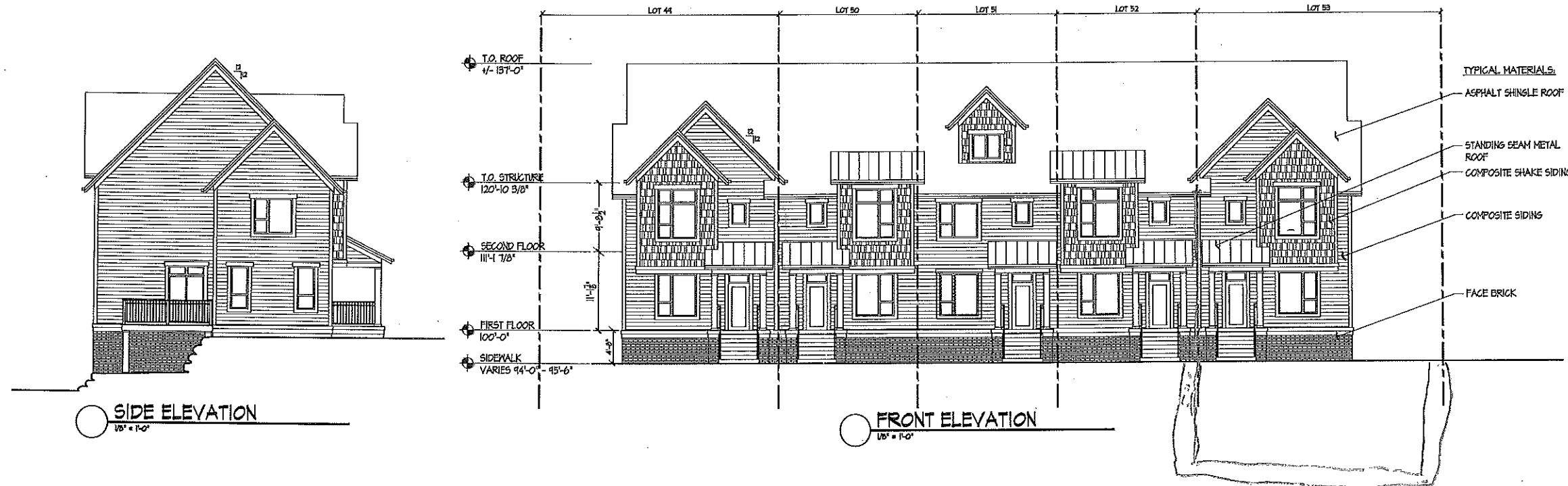
Project Title
Riva - Building #3

Drawing Title
Exterior Elevations

Project No. **1316**
Drawing No. **A-2.1**

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Consultant _____
Notes _____



Revisions
City-July 25, 2013
City-August 9, 2013

Project Title
Riva - Phase II
5 Unit Townhomes

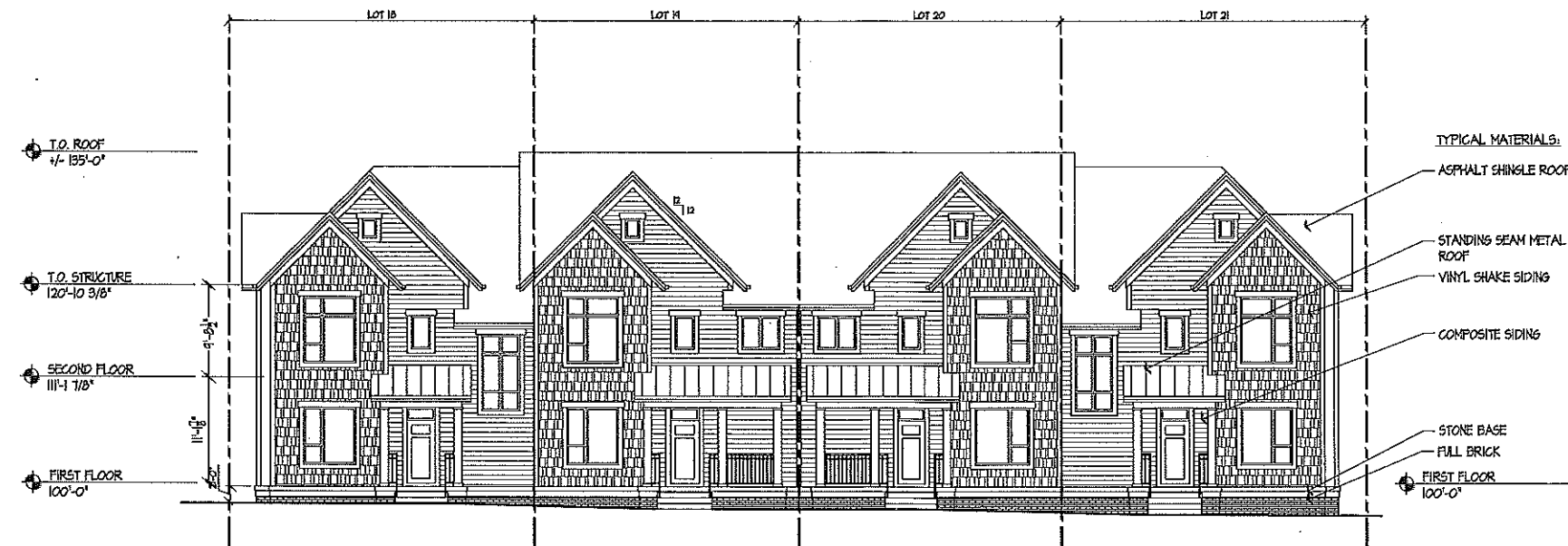
Drawing Title
Exterior Elevations

Project No. **1316** Drawing No. **A-2.2**

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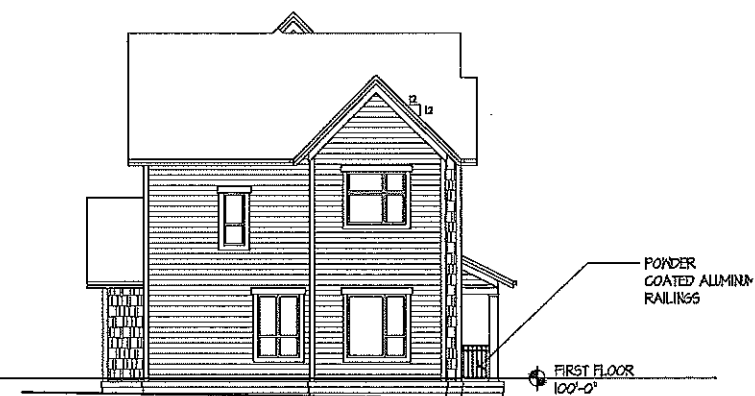
Notes



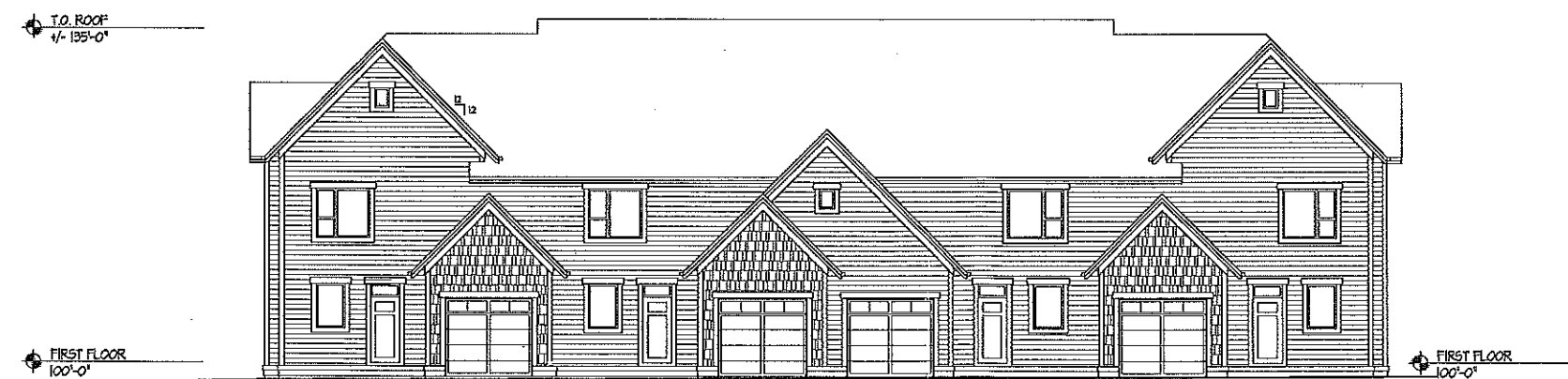
4-UNIT EAST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



4-UNIT WEST ELEVATION
1/8" = 1'-0"

Revisions
 City-July 25, 2013
 City-August 9, 2013

Project Title
 Riva - Phase II
 4 Unit Townhomes

Drawing Title
 Exterior Elevations

Project No. 1316 Drawing No. A-2.3

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